

Public Document Pack



To: Councillor Boulton, Convener; Councillor Stewart, Vice Convener, the Depute Provost; and Councillors Allan, Cooke, Copland, Cormie, Greig, Avril MacKenzie and Malik.

Town House,
ABERDEEN 11 March 2020

PLANNING DEVELOPMENT MANAGEMENT COMMITTEE

The Members of the **PLANNING DEVELOPMENT MANAGEMENT COMMITTEE** are requested to meet in Committee Room 2 - Town House on **THURSDAY, 19 MARCH 2020 at 10.00 am.**

FRASER BELL
CHIEF OFFICER - GOVERNANCE

BUSINESS

MEMBERS PLEASE NOTE THAT ALL LETTERS OF REPRESENTATION ARE NOW AVAILABLE TO VIEW ONLINE. PLEASE CLICK ON THE LINK WITHIN THE RELEVANT COMMITTEE ITEM.

MOTION AGAINST OFFICER RECOMMENDATION

- 1.1 Motion Against Officer Recommendation - Procedural Note (Pages 5 - 6)

DETERMINATION OF URGENT BUSINESS

- 2.1 Determination of Urgent Business

DECLARATION OF INTERESTS

- 3.1 Members are requested to intimate any declarations of interest (Pages 7 - 8)

MINUTES OF PREVIOUS MEETINGS

- 4.1 Minute of Meeting of the Planning Development Management Committee of 20 February 2020 - for approval (Pages 9 - 20)

COMMITTEE PLANNER

- 5.1 Committee Planner (Pages 21 - 22)

WHERE THE RECOMMENDATION IS ONE OF APPROVAL

- 6.1 Detailed Planning Permission - 218 Auchmill Road Aberdeen - 191460 (Pages 23 - 38)

Planning Reference – 191460/DPP

All documents associated with this application can be found at the following link and enter the reference number above:- [Link](#).

Planning Officer: Robert Forbes

- 6.2 Detailed Planning Permission - former Ross Clinic, May Baird Avenue, Aberdeen - 191755 (Pages 39 - 50)

Planning Reference – 191755/DPP

All documents associated with this application can be found at the following link and enter the reference number above:- [Link](#).

Planning Officer: Lucy Greene

OTHER REPORTS

- 7.1 Development Along Lanes - Technical Advice Note - PLA/20/063 (Pages 51 - 78)

- 7.2 Materials - Technical Advice Note - PLA/20/046 (Pages 79 - 122)

DATE OF NEXT MEETING

- 8.1 Thursday 30 April 2020 at 10am

To access the Service Updates for this Committee please click [here](#)

Website Address: www.aberdeencity.gov.uk

Please note that Daniel Lewis, Development Management Manager, will be in Committee Room 2 from 9.30am for Members to view plans and ask any questions.

Should you require any further information about this agenda, please contact Lynsey McBain, Committee Officer, on 01224 522123 or email lymcbain@aberdeencity.gov.uk

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MOTIONS AGAINST RECOMMENDATION

Members will recall from the planning training sessions held, that there is a statutory requirement through Sections 25 and 37 of the Town and Country Planning (Scotland) Act 1997 for all planning applications to be determined in accordance with the provisions of the Development Plan unless material considerations indicate otherwise. All Committee reports to Planning Development Management Committee are evaluated on this basis.

It is important that the reasons for approval or refusal of all applications are clear and based on valid planning grounds. This will ensure that applications are defensible at appeal and the Council is not exposed to an award of expenses.

Under Standing Order 28.10 the Convener can determine whether a motion or amendment is competent, and may seek advice from officers in this regard.

With the foregoing in mind the Convener has agreed to the formalisation of a procedure whereby any Member wishing to move against the officer recommendation on an application in a Committee report will be required to state clearly the relevant development plan policy(ies) and/or other material planning consideration(s) that form the basis of the motion against the recommendation and also explain why it is believed the application should be approved or refused on that basis. Officers will be given the opportunity to address the Committee on the competency of the motion. The Convener has the option to call a short recess for discussion between officers and Members putting forward a motion if deemed necessary.

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DECLARATIONS OF INTEREST

You must consider at the earliest stage possible whether you have an interest to declare in relation to any matter which is to be considered. You should consider whether reports for meetings raise any issue of declaration of interest. Your declaration of interest must be made under the standing item on the agenda, however if you do identify the need for a declaration of interest only when a particular matter is being discussed then you must declare the interest as soon as you realise it is necessary. The following wording may be helpful for you in making your declaration.

I declare an interest in item (x) for the following reasons

For example, I know the applicant / I am a member of the Board of X / I am employed by... and I will therefore withdraw from the meeting room during any discussion and voting on that item.

OR

I have considered whether I require to declare an interest in item (x) for the following reasons however, having applied the objective test, I consider that my interest is so remote / insignificant that it does not require me to remove myself from consideration of the item.

OR

I declare an interest in item (x) for the following reasons however I consider that a specific exclusion applies as my interest is as a member of xxxx, which is

- (a) a devolved public body as defined in Schedule 3 to the Act;
- (b) a public body established by enactment or in pursuance of statutory powers or by the authority of statute or a statutory scheme;
- (c) a body with whom there is in force an agreement which has been made in pursuance of Section 19 of the Enterprise and New Towns (Scotland) Act 1990 by Scottish Enterprise or Highlands and Islands Enterprise for the discharge by that body of any of the functions of Scottish Enterprise or, as the case may be, Highlands and Islands Enterprise; or
- (d) a body being a company:-
 - i. established wholly or mainly for the purpose of providing services to the Councillor's local authority; and
 - ii. which has entered into a contractual arrangement with that local authority for the supply of goods and/or services to that local authority.

OR

I declare an interest in item (x) for the following reasons.....and although the body is covered by a specific exclusion, the matter before the Committee is one that is quasi-judicial / regulatory in nature where the body I am a member of:

- is applying for a licence, a consent or an approval
- is making an objection or representation
- has a material interest concerning a licence consent or approval
- is the subject of a statutory order of a regulatory nature made or proposed to be made by the local authority.... and I will therefore withdraw from the meeting room during any discussion and voting on that item.

PLANNING DEVELOPMENT MANAGEMENT COMMITTEE

ABERDEEN, 20 February 2020. Minute of Meeting of the PLANNING DEVELOPMENT MANAGEMENT COMMITTEE. Present:- Councillor Boulton, Convener; Councillor Stewart, Vice Convener, the Depute Provost; and Councillors Allan, Cooke, Copland, Cormie, Greig, Avril MacKenzie and Macdonald (as substitute for Councillor Malik).

The agenda and reports associated with this minute can be found [here](#).

Please note that if any changes are made to this minute at the point of approval, these will be outlined in the subsequent minute and this document will not be retrospectively altered.

MINUTE OF MEETING OF THE PLANNING DEVELOPMENT MANAGEMENT COMMITTEE OF 23 JANUARY 2020

1. The Committee had before it the minute of the previous meeting of 23 January 2020, for approval.

The Committee resolved:-

to approve the minute as a correct record.

MINUTE OF MEETING OF THE PLANNING DEVELOPMENT MANAGEMENT COMMITTEE (VISITS) OF 30 JANUARY 2020

2. The Committee had before it the minute of the Planning Development Management Committee (Visits) of 30 January 2020, for approval.

The Committee resolved:-

to approve the minute as a correct record.

COMMITTEE PLANNER

3. The Committee had before it a planner of future Committee business.

The Committee resolved:-

to note the information contained within the Committee business planner.

GILCOMSTOUN PRIMARY SCHOOL, SKENE STREET ABERDEEN - 191712

4. The Committee had before it a report by the Chief Officer – Strategic Place Planning, **which recommended:-**

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That the application for detailed planning permission for the erection of a single storey nursery with associated landscaping, fencing and associated works at Gilcomstoun Primary School, Skene Street Aberdeen, 191712, be approved subject to the following conditions:-

Conditions**1. Materials**

No works in connection with the development hereby approved shall commence unless details/the specification and colour of all the materials to be used in the external finish for the approved development have been submitted to and approved in writing by the planning authority. The development shall not be brought into use unless the external finish has been applied in accordance with the approved details.

Reason: In the interests of the appearance of the development and the visual amenities of the area.

2. Fence Details

No works in connection with the development hereby approved shall commence unless details of the proposed means of enclosures to be erected around and/or within the site boundary have been submitted to and approved in writing by the planning authority. The building hereby approved shall not be brought into use unless the means of enclosure have been erected in accordance with the approved details. Once erected, the means of enclosure shall thereafter be permanently retained in accordance with the approved details.

Reason: In the interests of the residential and the visual amenities of the area.

3. Arboricultural Impact Assessment and Tree Protection

No works in connection with the development hereby approved shall commence unless the following information is submitted and approved in writing by the planning authority:

- a) An arboricultural impact assessment which evaluates the direct and indirect impacts of the proposed development on the trees to be retained and proposed mitigation.
- b) An arboricultural method statement to demonstrate that operations can be carried out with minimal risk of adverse impact on trees to be retained.
- c) A method statement for any works proposed within the root protection areas of the trees shown to be retained.
- d) The position and construction of protective fencing around the retained trees (to be in accordance with BS 5837: 2012 Trees in relation to design, demolition and construction).
- e) The extent and type of ground protection, and any additional measures required to safeguard vulnerable trees and their root protection areas.

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No works in connection with the development hereby approved shall commence unless the tree protection measures have been implemented in full in accordance with the approved tree protection plan. No materials, supplies, plant, machinery, soil heaps, changes in ground levels or construction activities shall be permitted within the protected areas without the written consent of the planning authority and no fire shall be lit in the position where the flames could extend to within 5 metres of foliage, branches or trunks. The approved tree protection measures shall be retained in situ until the development has been completed.

Reason: In order to ensure adequate protection for the trees and hedges on the site during the construction of development, and in the interests of the visual amenity of the area.

4. Compensatory Planting

No works in connection with the permission hereby approved shall commence unless a scheme of compensatory tree planting has been submitted to and approved in writing by the planning authority. Details of the scheme shall include:

- a) The location of the compensatory tree planting.
- b) A schedule of planting to comprise species, plant sizes and proposed numbers and density.
- c) A programme for the implementation, completion and subsequent management of the proposed compensatory tree planting.

The compensatory tree planting shall be carried out in complete accordance with the approved scheme and any planting which, within a period of 5 years from the completion of the compensatory tree planting, in the opinion of the planning authority is dying, being severely damaged or becoming seriously diseased, shall be replaced by plants of similar size and species to those originally required to be planted.

Reason: In order to maintain woodland cover in accordance with the aims of local and national planning policies.

5. Travel Plan

The building hereby approved shall not be brought into use unless a Travel Plan for that building has been submitted to and approved in writing by the planning authority, in consultation with the Roads Development Management Team. The Travel Plan shall encourage more sustainable means of travel and shall include mode share targets. It shall identify measures to be implemented, the system of management monitoring review, reporting and duration of the incorporated measures designed to encourage modes other than the private car. Once approved the measures set out in the approved Travel Plan shall be implemented in full.

Reason: In the interests of encouraging a more sustainable means of travel to and

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from the proposed development.

6. Cycle Parking

The building hereby approved shall not be brought into use unless details of the cycle parking, in respect to its location and design, has been submitted to and approved by the planning authority. Once approved the cycle parking shall be installed in accordance with the approved details and retained in perpetuity.

Reason: To ensure safe and appropriate facilities within the site.

7. Foul and Surface Water Drainage System

The building hereby approved shall no brought into use unless the proposed surface water drainage arrangements has been provided in accordance with the approved Drainage Assessment, prepared by Fairhurst, dated December 2019. The surface water drainage system shall be permanently retained thereafter in accordance with the approved maintenance scheme.

Reason: In order to ensure that adequate drainage facilities are provided, and retained, in the interests of the amenity of the area.

8. Carbon Neutrality and Water Efficiency

No building hereby approved shall be erected unless an Energy Statement and Water Efficiency applicable to that building has been submitted to and approved in writing by the planning authority.

The Energy Statement shall include the following items:

- a) Full details of the proposed energy efficiency measures and/or renewable technologies to be incorporated into the development;
- b) Calculations using the SAP or SBEM methods which demonstrate that the reduction in carbon dioxide emissions rates for the development, arising from the measures proposed, will enable the development to comply with Policy R7 of the Aberdeen Local Development Plan 2017.

The Water Efficiency Statement shall include details of all proposed water saving technologies and techniques.

The development shall not be occupied unless it has been constructed in full accordance with the approved details in both statements. All measures shall be retained in place and fully operational thereafter.

Reason: to ensure this development complies with the on-site carbon reductions required in Scottish Planning Policy and Policy R7 of the Aberdeen Local Development Plan 2017.

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The Committee heard from Aoife Murphy, Senior Planner, who spoke in furtherance of the application and answered various questions from members.

The Committee resolved:-

- (i) to request that officers provide information on the Denburn Health Centre and Masterplan in regard to a potential nursery that was included in the Masterplan; and
- (ii) to otherwise approve the application conditionally.

FORMER TORRY ACADEMY, TULLOS CIRCLE, ABERDEEN - 191661

5. The Committee had before it a report by the Chief Officer – Strategic Place Planning, **which recommended:-**

That the application for detailed planning permission for the erection of a community hub consisting of a primary school with early years, sports and community facilities with associated landscaping and infrastructure, at the former Torry Academy, Tullos Circle Aberdeen, 191661, be approved subject to the following conditions:-

Conditions

1. Materials

No works in connection with the development hereby approved shall commence unless details of the specification and colour of all the materials to be used in the external finish of the development have been submitted to and approved in writing by the planning authority. The development shall not be brought into use unless the external finish has been applied in accordance with the approved details, specification and colour.

Reason: In the interests of the appearance of the development and the visual amenities of the area.

2. Contaminated Land

No works in connection with the development hereby approved shall commence unless the recommendations set out in the Geotechnical Design and Environmental Risk Assessment Report, prepared by Goodson Associates dated September 2019 have been carried out and any subsequent reports prepared as a result, have been submitted to and approved in writing by the planning authority. Once approved all required mitigation measures shall thereafter be implemented in full accordance and retained in perpetuity.

The scope of the works set out in the recommendations of the Geotechnical Design and Environmental Risk Assessment Report shall be agreed in writing with the planning authority in consultation with Protective Services prior to any works being carried out.

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Reason: In order to ensure any potential contamination of the site is dealt with appropriately in the interests of public and environmental safety.

3. Hours of Use

The All-Weather Sports Pitch hereby approved shall only be used by the school or for pre-arranged lets during the period from 9 am to 8 pm on Monday to Friday and from 10 am to 8 pm on Saturday and Sunday and shall not be used outwith these times.

Reason: In order to ensure that the development would not result in undue loss of amenity for surrounding properties.

4. Noise

The building hereby approved shall not be brought into use unless a further assessment and report of the specific mechanical plant, including plant louvres at school, condenser units and substation, being used for the operation of the site has been undertaken. This assessment and report shall then be submitted to and approved in writing by the planning authority in consultation with Environmental Health. Once approved, all mitigation measures recommended in the report should be implemented prior to the building being brought into use and retained in perpetuity.

Reason: To ensure that noise from the use of the development does not result in undue loss of amenity for surrounding properties.

5. Lighting Strategy

No development in connection with the planning permission hereby granted shall commence unless full details of the proposed lighting for the development and an impact assessment of obtrusive light from the development have been submitted to and approved in writing by the planning authority. Prior to the assessment being undertaken in accordance with a scope that has been agreed with the planning authority in consultation with Environmental Health. All lighting shall be provided and thereafter retained in perpetuity in accordance both with the approved scheme and the Guidance Notes for the Reduction of Obtrusive Light issued by the Institution of Lighting Professionals (GN01:2011) and any such guidance notes that replace or supersede them.

Reason: In order to minimise the amount of obtrusive lighting from the development in the interests of the residential and visual amenity of the surrounding area.

6. Travel Plan

The building hereby approved shall not be brought into use unless a Travel Plan for that building has been submitted to and approved in writing by the planning authority. The Travel Plan shall encourage more sustainable means of travel and shall include mode share targets. It shall identify measures to be implemented, the system of management

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monitoring review, reporting and duration of the incorporated measures designed to encourage modes other than the private car. The building shall not be brought into use unless the measures set out in its approved Travel Plan have been implemented in full.

Reason: In the interests of encouraging a more sustainable means of travel to and from the proposed development.

7. Traffic Restrictions

The building hereby approved shall not be brought into use unless:

- (i) an assessment of existing traffic restrictions within the surrounding road network has been undertaken to establish if any restrictions, in addition to those that exist, are required;
- (ii) the scope of the assessment shall be agreed with the Council's Traffic Management Team;
- (iii) a Traffic Regulation Order is promoted for any works to implement the additional restrictions; and
- (iv) any works required to implement the addition restrictions are completed.

For the avoidance of doubt, all necessary works required as a result of the assessment shall be implemented prior to the building being brought into use.

Reason: In the interests of road safety and providing a safe route to school.

8. Existing Public Transport Infrastructure

The building hereby approved shall not be brought into use unless the existing public transport infrastructure, such as, but not limited to bus shelters in close proximity to the development, have been assessed in consultation with the Council's Public Transport Services and Infrastructure.

For the avoidance of doubt, all necessary works required to improve or replace this infrastructure shall be carried out prior to the building being brought into use.

Reason: In the interests of public safety and providing suitable public transport infrastructure.

9. Foul and Surface Water Drainage Arrangements

The building hereby approved shall not be brought into use unless the proposed foul and surface water drainage arrangements have been provided in accordance with the approved plans and the Drainage Strategy Plan, prepared by Goodson Associates and dated October 2019. The foul and surface water drainage arrangements shall be permanently retained thereafter in accordance with the approved maintenance scheme contained within the Drainage Strategy.

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Reason: In order to ensure that adequate drainage facilities are provided, and retained, in the interests of the amenity of the area.

10. Bird Management

Development shall not commence until a Bird Hazard Management Plan has been submitted to and approved in writing by the planning authority in consultation with Aberdeen Airport. The submitted plan shall include details of:

Management of any flat/shallow pitched roofs (of less than 15 degrees) on buildings within the site which may be attractive to nesting, roosting and “loafing” birds. The management plan shall comply with Advice Note 8 ‘Potential Bird Hazards from Building Design’ and any such guidance notes that replace or supersede them.

The Bird Hazard Management Plan shall be implemented as approved, on completion of the development and shall remain in force for the life of the building. No subsequent alterations to the plan are to take place unless they have been submitted to, and approved in writing by, the planning authority in consultation with Aberdeen Airport.

Reason: It is necessary to manage the development in order to minimise its attractiveness to birds which could endanger the safe movement of aircraft and the operation of Aberdeen Airport.

11. Landscaping Scheme

No works in connection with the development hereby approved shall commence unless a scheme of hard and soft landscaping works has been submitted to and approved in writing by the planning authority.

Details of the scheme shall include:

- a) Existing and proposed finished levels.
- b) The location of new trees, shrubs, hedges and grassed areas.
- c) A schedule of planting to comprise species, plant sizes and proposed numbers and density.
- d) The location, design and materials of all hard landscaping works including walls, fences, gates, and play equipment.
- e) An indication of existing trees, shrubs and hedges to be removed.
- f) A programme for the implementation, completion and subsequent management of the proposed landscaping.

All soft and hard landscaping proposals shall be carried out in accordance with the approved planting scheme and management programme. Any planting which, within a period of 5 years from the completion of the development, in the opinion of the planning authority is dying, being severely damaged or becoming seriously diseased, shall be replaced by plants of similar size and species to those originally required to be planted. Once provided, all hard landscaping works shall thereafter be permanently retained.

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Reason: To ensure the implementation and management of a satisfactory scheme of landscaping which will help to integrate the proposed development into the local landscape in the interests of the visual amenity of the area.

12. Carbon Neutrality and Water Efficiency

No building hereby approved shall be erected unless an Energy Statement and Water Efficiency applicable to that building has been submitted to and approved in writing by the planning authority.

The Energy Statement shall include the following items:

(a) Full details of the proposed energy efficiency measures and/or renewable technologies to be incorporated into the development;

(b) Calculations using the SAP or SBEM methods which demonstrate that the reduction in carbon dioxide emissions rates for the development, arising from the measures proposed, will enable the development to comply with Policy R7 of the Aberdeen Local Development Plan 2017.

The Water Efficiency Statement shall include details of all proposed water saving technologies and techniques.

The development shall not be occupied unless it has been constructed in full accordance with the approved details in both statements. All measures shall be retained in place and fully operational thereafter.

Reason: to ensure this development complies with the on-site carbon reductions required in Scottish Planning Policy and Policy R7 of the Aberdeen Local Development Plan 2017.

The Committee heard from Aoife Murphy, Senior Planner, who spoke in furtherance of the application and answered various questions from members.

The Committee resolved:-

to approve the application conditionally.

81 BRIGHTON PLACE ABERDEEN - 191880

6. The Committee had before it a report by the Chief Officer – Strategic Place Planning, **which recommended:-**

That the application for detailed planning permission for the erection of a new dwellinghouse to the rear at 81 Brighton Place Aberdeen, be refused.

The Committee heard from Dineke Brasier, who spoke in furtherance of the application and answered questions from members.

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20 February 2020

The Committee resolved:-
to refuse the application.

- **Councillor Marie Boulton, Convener**

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20 February 2020

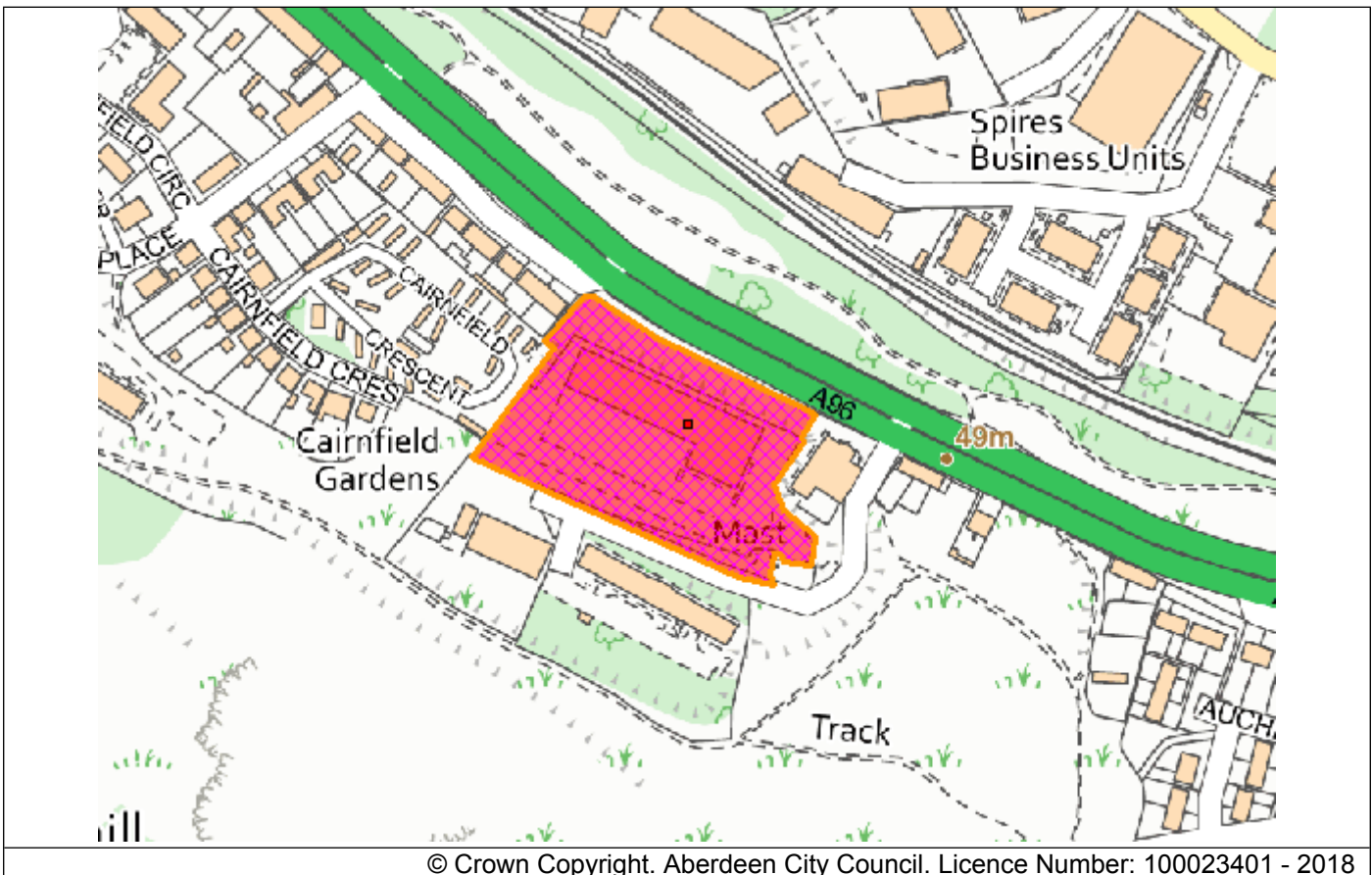
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	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O
1	PLANNING DEVELOPMENT MANAGEMENT COMMITTEE BUSINESS PLANNER														
	The Business Planner details the reports which have been instructed by the Committee as well as reports which the Functions expect to be submitting for the calendar year.														
	Report Title	Minute Reference/Committee Decision or Purpose of Report	Update	Report Author	Chief Officer	Directorate	Terms of Reference	Delayed or Recommended for removal or transfer, enter either D, R, or T	Explanation if delayed, removed or transferred						
2															
3			19 March 2020												
4	Loirston Development Framework	PMDC 19/9/19 - to instruct the Chief Officer Strategic Place Planning, to report the outcomes of the public consultation on the Draft Framework back to a future meeting of the Committee, within the next 6 months.	Service Update issued.	Rebecca Kerr	Strategic Place Planning	Place	6								
5	Maybaird Avenue Aberdeen	To approve or refuse the application.		Lucy Greene	Strategic Place Planning	Place	1								
6	218 Auchmill Road	To approve or refuse the application.		Robert Forbes	Strategic Place Planning	Place	1								
7	Draft Technical Advice Note: Materials	PMDC 19/9/19 - To instruct the Chief Officer - Strategic Place Planning, to report the findings of the public consultation back to a future meeting of the Committee within 6 months.		Rebecca Kerr	Strategic Place Planning	Place	6								
8	Development Along Lanes	PMDC 19/9/19 - to instruct the Chief Officer - Strategic Place Planning, to report the findings of the public consultation, along with any recommended revisions to the draft policy, to this Committee within 6 months.		Nigel McDowell	Strategic Place Planning	Place	6								
9			30 April 2020												
10	Aberdeen Market	To approve or refuse the application.		Matthew Easton	Strategic Place Planning	Place	1								
11	44 Beechgrove Avenue	To approve or refuse the application.		Roy Brown	Strategic Place Planning	Place	1								
12	City Centre Character Appraisal	Approve or refuse for consultation		Laura Robertson	Strategic Place Planning	Place	1								
13	Hill of Rubislaw	To approve or refuse the application.		Matthew Easton	Strategic Place Planning	Place	1								
14			01 June 2020												
15	Committee Annual Effectiveness Report	To present the annual effectiveness report for the Committee		Fraser Bell	Governance	Governance	GD7.5								
16			02 July 2020												
17			20 August 2020												
18			24 September 2020												
19			05 November 2020												
20			10 December 2020												
21															
22															
23	AD HOC REPORTS (CYCLE DEPENDENT ON REQUIREMENT TO REPORT)														
24															
25															
26															

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 <p>ABERDEEN CITY COUNCIL</p>	<h2 style="margin: 0;">Planning Development Management Committee</h2>
	<p>Report by Development Management Manager</p>
	<p>Committee Date: 19 March 2020</p>

Site Address:	218 Auchmill Road, Aberdeen, AB21 9NB,
Application Description:	Redevelopment of site including demolition of existing unit to form affordable residential development (92 units) with associated open space, roads, access, landscaping, car parking, engineering and infrastructure works including a combined heat and power (CHP) facility
Application Ref:	191460/DPP
Application Type	Detailed Planning Permission
Application Date:	24 September 2019
Applicant:	First Endeavour LLP
Ward:	Dyce/Bucksburn/Danestone
Community Council:	Bucksburn And Newhills
Case Officer:	Robert Forbes



RECOMMENDATION

Approve Conditionally & Legal Agreement

APPLICATION BACKGROUND

Site Description

This 1.2ha site includes vacant premises, last used for the sale and servicing of commercial vehicles and adjacent open space. The existing building is single storey, of modern origin and industrial appearance. It has door openings on its south elevation facing existing 4 storey flats which are elevated above the site. A large open yard area occupies the southern part of the site in an elevated position relative to the A96 dual carriageway to the north. There is an established tree belt on the intervening slope. Other incidental landscaping areas occupy the fringes of the site. There is a significant change in levels across the site due to the moderate northerly aspect of the surrounding land. However, the central (developed) part of the site is level.

The site is accessed from the A96 via a steep spur road which services adjacent commercial and residential development. There is currently no pedestrian crossing or light controlled traffic signals at the junction of this road with the A96. To the west of the site lies low rise housing facing the A96 and a largely unoccupied residential caravan park accessed from Cairnfield Place.

Relevant Planning History

Application Number	Proposal	Decision Date
190475/PAN	Redevelopment of site for a major development consisting of demolition of existing industrial unit to form approximately 90-100 residential units and associated infrastructure	10.04.2019 Status: Further consultation required
190758/PAN	Redevelopment of site for a major development consisting of demolition of existing industrial unit to form approximately 100 affordable residential units and associated infrastructure	07.06.2019 Status: Further consultation required
140080	Installation of 15m replacement mast with associated 3 No. cabinets.	28.03.2014 Status: Approved

Planning permission for erection of 40 flats on the site to the south of the site (ref A6/2353) was granted in 2006 and has been implemented.

APPLICATION DESCRIPTION

Description of Proposal

The proposed buildings would be located at the central and southern edge of the existing yard. Three distinct blocks are proposed flanking a communal open space / play area within the southern part of the existing yard. Access to all flats would be via doors on the north elevation providing access to associated communal stairwells. The building would be 4 storey with pitched and hipped roofs with gable features. A range of flat sizes / types are proposed (50 x 1 bed; 8 x 2 bed; 32 x 3 bed; 2 x 4 bed units) with floorspaces ranging from 53 to 120 square metres. The majority of units would be 1 bed, with a high proportion of 3 bed units. A mix of single and multiple aspect flats are proposed. The existing site access would be retained and adjusted to include footpath access.

Surface car parking would be provided on the northern part of the site occupied by the existing building, with parking provided at an 80% ratio. A new ramped footpath link would be formed from the north via the existing slope.

It is the applicant's stated intention that the housing will be managed by the Local Authority, or alternatively by a Registered Social Landlord (RSL).

An ancillary water storage / pump building is proposed at the east end of the site adjacent to the main access and an existing mobile phone mast, which would remain on site. This building would be single storey and would have a pitched / hipped roof. A mix of external materials is proposed including drydash render of various colours and brick. Roofs would be clad with a grey tile.

The proposal has been substantively amended, including reconfiguration of the site layout plan, provision of play areas, communal open space and garden ground, re-siting and re-design of the buildings, cycle and bin stores, adjustment of the parking arrangements to reflect Council standards, introduction of a direct pedestrian link to the site from the north and deletion of a CHP facility that was originally proposed. Renotification of neighbours has taken place in light of these changes.

Supporting Documents

All drawings and supporting documents listed below can be viewed on the Council's website at:

<https://publicaccess.aberdeencity.gov.uk/online-applications/applicationDetails.do?activeTab=documents&keyVal=PYCBG4BZJPJ00>

Pre-application consultation (PAC) report
Bat Survey
Tree Survey
Design and Access Statement
Transport Statement (TS)
Flood Risk Assessment (FRA)
Drainage Impact Assessment (DIA)
Noise Impact Assessment (NIA)
Ground Investigation Report
Daylight / sunlight / overshadowing report
Sustainability (Energy / Water Use) Report

Reason for Referral to Committee

The application has been referred to the Planning Development Management Committee because in excess of 5 objections have been received and the application is a major development.

CONSULTATIONS

Aberdeen International Airport – Advise that the proposed development has been examined from an aerodrome safeguarding perspective and could conflict with safeguarding criteria unless planning permission granted is subject to a condition requiring details of soft and water landscaping.

ACC - Contaminated Land Team – No objection. Request that a condition be imposed to address potential contamination due to previous industrial use / proximity to a former landfill.

ACC - Developer Obligations – Advise that financial contributions are required regarding Core paths (£26,784); Primary Education (£26,350); Secondary Education (£27,333); Healthcare (£73,697); Open Space (£13,176); Community Facilities (£131,652); Sport and Recreation (£69,408). Advise that 100% of the units would be affordable (assuming they are delivered by ACC/ a RSL).

ACC - Education –The proposal would result in a need for an extension at Bucksburn Academy and reconfiguration works at Brimmond School, to accommodate the additional number of pupils likely to be generated by the development. Developer contributions would therefore be required to cover the cost of these works.

ACC - Environmental Health –No objection. The Noise Impact Assessment (NIA) has been reviewed and note that the proposed development has the potential to be impacted upon by existing noise sources in the area. These consist of nearby industrial units as well as road traffic and rail noise. Request that all the mitigation measures in the NIA are implemented. Request that dust management and control measures are implemented to control impact on adjacent residents during construction.

ACC - Environmental Services (Design) – Request on site provision of a childrens' play area.

ACC - Housing –Developments of 100% affordable housing are welcomed. This site is included in the Strategic Housing Investment Plan. It is advisable for the developer to enter into early negotiations with a RSL or Aberdeen City Council so that a suitable purchaser can be found.

ACC - Roads Development Management Team – No objection. Consider that the site is well served by public transport, but provision of enhanced pedestrian linkage is required, including a new pedestrian crossing on the A96. Provide detailed comment regarding the internal site layout and access / traffic generation matters. Request provision of a secondary emergency access route for emergency vehicles.

ACC - Waste Strategy Team – No objection. Provide advice regarding refuse storage / uplift. Request detailed drawings of the bin storage areas to ensure they are of sufficient capacity. Advise that no garden waste bins will be provided for flat residences as it is assumed grounds will be maintained as part of a service charge for the building and undertaken by a commercial contractor.

Scottish Water – Advise that there is sufficient capacity regarding public water supply and foul water treatment. Note that the development proposals impact on existing Scottish Water Assets within the site.

Police Scotland – No objection. Provide detailed advice regarding crime prevention through design. Consideration should be given to integrating the proposed bicycle storage into the buildings so that they can be accessed from both inside and outside by residents via locked doors. Where it is desirable to limit access/use to residents and their legitimate visitors, features such as rumble strips, change of road surface (by colour or texture), pillars, brick piers or narrowing of the carriageway may be used. This helps to define the defensible space, psychologically giving the impression that the area beyond is private. The use of perimeter measures to the front of dwellings, such as walls, fences and planting, can also help to create buffer zones between what are public and private areas.

Scottish Environment Protection Agency – No objection. Advise that the FRA and DIA have been reviewed. Recommend that opportunities be explored for environmental enhancements, for example in relation to biodiversity, green infrastructure, waste minimisation and efficiency of use of resources, all within a placemaking context. SEPA particularly supports measures to address and reduce the impacts of climate change and to improve the water environment. Examples of potential measures include:

- Incorporating green/blue infrastructure, linking it to neighbouring sites.
- Multi-functional green space, with native planting
- Designing SUDS with biodiversity and amenity value
- Rainwater harvesting, sustainable water reuse measures, greywater harvesting and use
- Green roofs
- Including renewables, minimising energy requirements, improving energy efficiency, use of

- low carbon solutions,
- Support active travel

Bucksburn And Newhills Community Council – No response received.

REPRESENTATIONS

A total of 7 objections have been received raising the following matters -

- Excessive building height / density / Overdevelopment of the site
- Aesthetically poor building quality
- Shallow pitched / flat roof preferred
- Insufficient car parking provision / likely parking pressure outwith the site
- Traffic generation at the junction with the A96 / request for introduction of traffic lights at the junction / Road safety concern (e.g. due to driver impatience)
- Lack of amenities on site / nearby / absence of children's play area on site
- Adverse impact on adjacent amenity / loss of light / privacy
- Surface water drainage / flooding impact onto Auchmill Road / adjacent housing due to disturbance of a natural spring
- Maintenance of external space / embankments
- Inadequate pedestrian connection to the development
- Loss of views from adjacent flats (not a material planning consideration)
- Adverse impact on property values (not a material planning consideration)

MATERIAL CONSIDERATIONS

Legislative Requirements

Sections 25 and 37(2) of the Town and Country Planning (Scotland) Act 1997 require that where, in making any determination under the planning acts, regard is to be had to the provisions of the Development Plan and that determination shall be made in accordance with the plan, so far as material to the application unless material considerations indicate otherwise.

National Planning Policy and Guidance

Scottish Planning Policy (SPP) expresses a presumption in favour of development that contributes to sustainable development. It supports opportunities for new development to enhance natural resources and sustainability (see paragraphs 2, 13, 19, 29, 38, 45, 75, 93, 193, 202, 220, 221 and Annex A).

Aberdeen City and Shire Strategic Development Plan 2014 (SDP)

The purpose of the SDP is to set a spatial strategy for the future development of the Aberdeen City and Shire. The general objectives of the plan are promoting economic growth and sustainable economic development which will reduce carbon dioxide production, adapting to the effects of

climate change, limiting the use of non-renewable resources, encouraging population growth, maintaining and improving the region's built, natural and cultural assets, promoting sustainable communities and improving accessibility.

The SDP is now beyond its five-year review period. In the light of this, for proposals which are regionally or strategically significant or give rise to cross boundary issues between Aberdeen City and Aberdeenshire, the presumption in favour of development that contributes to sustainable development will be a significant material consideration in line with SPP.

The Aberdeen Local Development Plan 2017 (ALDP) will continue to be the primary document against which applications are considered. The Proposed Aberdeen City & Shire SDP may also be a material consideration. The Proposed SDP constitutes the settled view of the Strategic Development Planning Authority (and both partner Councils) as to what should be the final content of the next approved Strategic Development Plan. The Proposed SDP was submitted for Examination by Scottish Ministers in Spring 2019, and the Reporter has now reported back. The Scottish Ministers will consider the Reporter's Report and decide whether or not to approve or modify the Proposed SDP. The exact weight to be given to matters contained in the Proposed SDP in relation to specific applications will depend on whether:

- these matters have been subject to comment by the Reporter; and
- the relevance of these matters to the application under consideration.

Aberdeen Local Development Plan (2017)

D1: Quality Placemaking by Design

D2: Landscape

H2: Mixed Use Areas

H3: Density

H4: Housing Mix

H5: Affordable Housing

I1: Infrastructure Delivery & Planning Obligations

NE3: Urban Green Space

NE4: Open Space Provision in New Development

NE5: Trees and Woodland

NE6: Flooding, Drainage & Water Quality

NE9: Access and Informal Recreation

R2: Degraded & Contaminated Land

R6: Waste Management Requirements for New Development

R7: Low & Zero Carbon Building & Water Efficiency

Supplementary Guidance and Technical Advice Notes

Landscape

Open Space

Trees

Planning Obligations

Affordable Housing

Transport and Accessibility

Noise

Flooding, Drainage and Water Quality

Resources for New Development

Proposed Aberdeen Local Development Plan 2020 (PALDP)

The PALDP was approved at the Council meeting of 2 March 2020. It constitutes the Council's settled view as to what the final content of the next adopted local development plan should be, and is now a material consideration in the determination of planning applications. The ALDP will continue to be the primary document against which applications are considered. The exact weight to be given

to matters contained in the PALDP (including individual policies) in relation to specific applications will depend on whether –

- these matters have been subject to public consultation through the Main Issues Report; and,
- the level of objection raised in relation these matters as part of the Main Issues Report; and,
- the relevance of these matters to the application under consideration.

The foregoing can only be assessed on a case by case basis.

In this case the application site continues to be allocated within an H2 (Mixed Use Area), which has identical wording to that expressed in the ALDP. Similar topic-based policies / guidance apply to those identified above in the ALDP. As regards policy H3 (density) this increases the minimum housing density figure from 30 to 50 dwellings per hectare. Policy D2 (Amenity) sets out amenity criteria for residential development. Policy WB1 (Healthy Developments) requires that health impact assessments are submitted for major developments.

The site is not specifically identified as an opportunity site for development. However, it is identified within appendix 1 as a 1.2 ha brownfield site with potential for housing.

Other Material Considerations

The Aberdeen City and Aberdeenshire Housing Need and Demand Assessment 2017 (HNDA). Figures in the HNDA identify up to 1,368 new affordable homes needed per annum over a 20-year period. This estimate of net annual housing need depends greatly on the economy and the housing market. If affordability were to improve in the Aberdeen Housing Market Area (AHMA) the current affordable housing stock, including forecast new build projects, would remain insufficient to meet arising need. This suggests that need in the AHMA is particularly chronic.

ACC Strategic Housing Investment Plan 2020/21 – 2024/25 (SHIP). The site is identified as delivering 92 (greener standard) affordable units for completion in 2021/22, to be developed by Hillcrest Homes (a housing association). It is not identified within the Council's published Affordable Housing Investment Plan (years 1-5).

Building Research Establishment (BRE) 'Site Layout Planning for Daylight and Sunlight: A Guide to Good Practice'.

EVALUATION

Principle of Development

The delivery of housing on a disused brownfield site within the built-up area of the city which is accessible by public transport accords with the SPP presumption in favour of development that contributes to sustainable development. Given the non-strategic scale of the proposal and that it does not raise matters of a cross boundary nature, the SDP is of limited relevance in this case. Adequate infrastructure exists to service the development, or can be enhanced in accordance with the expectations of ALDP policy I1. Although the site is not specifically identified as a brownfield opportunity site with potential for housing development within appendix 1 of the ALDP, the proposal accords with ALDP spatial strategy to encourage the regeneration of brownfield sites and aligns with the aspirations of the HNDA. The site has recently been identified as being suitable for 92 housing units with the SHIP. The PALDP specifically identifies the application site as a brownfield site with potential for housing. These are material considerations which weigh in favour of approval of the application. Delivery of a major affordable housing development on this unallocated (windfall) site would accord with ALDP policy H5. The acceptability of residential development at the site in principle in terms of policy H2 is dependent on demonstration of avoidance of undue conflict with

adjacent uses and demonstration of creation of an acceptable residential environment. These matters are assessed in detail below.

Conflict with adjacent uses

There would be no conflict in principle with the adjacent residential development to the south. Although its amenity would be impacted to a degree by the loss of the existing open outlook to the north, the loss of private views is not a material planning consideration. The scale / height of the proposed building and the relationship of the proposed facing windows would not result in undue conflict with existing amenity or compromise the existing residential use. Notwithstanding that upper floor windows on the east section of the building would directly overlook those on the lower floors of the adjacent development, this would be at a distance of approximately 30m (varying between 27m and 32m) such that existing residential amenity would not be fatally compromised. Furthermore, the proposed layout has been substantially amended so that the proposed blocks would be significantly set back from all edges of the site. Adjacent housing to the north west would benefit from the removal of the existing building, such that there would be reduced shading impact. The shadow analysis indicates that dwellings on Auchmill Rd would experience minimal additional shading in the morning and midday in December.

The removal of the existing commercial use on the site, which includes an industrial element, offers significant benefits to existing adjacent residents in terms of reduction of potential noise / pollution conflict and reduction of HGV traffic. Although there are commercial uses in the vicinity of the site, the nature of these activities does not appear to be of a heavy / noxious industrial nature such that there appears to be no insurmountable conflict with the proposed residential use. The submitted noise assessment demonstrates that, subject to installation of mitigation measures, occupants of the development would not be adversely impacted by external noise sources. The findings of this assessment are accepted by ACC Environmental Health Officer and demonstrates compliance with policies T5 and H2.

Residential Environment

Although the site would be exposed to noise sources, including road, air and rail traffic and adjacent commercial uses, it lies outwith the noise contours associated with Aberdeen Airport whereby residential development is constrained by policy. The submitted noise assessment accords with the expectations of ALDP policy T5 and PALDP policy WB3 and demonstrates that suitable noise mitigation can be provided on site to protect occupants of the buildings. Furthermore, the site benefits from mature tree screening and an elevated, setback position relative to the A96 such that exposure to traffic noise would not have a significant adverse impact on external areas, in particular the main amenity space to the south of the buildings. The north facing flats would benefit from extensive distant views.

Although no air quality (dust) management plan has been submitted, given the limited extent of earthworks proposed within the site and limited extent of the site / development, it is considered that this can be addressed by imposition of a suspensive condition relating to control of construction methods. As the proposed CHP facility has been deleted there is no long-term risk to air quality resulting from operation of the development.

The revised scheme has addressed concerns within the original layout resulting from the preponderance of single aspect flats previously proposed. The significant change in levels across the site, is such that the south facing flats on the lower floors of the western part of the site would be shaded by and face directly onto a steep bank. However, the number of flats affected is limited and the main aspect of these flats has been amended to face away from the slope. It is considered that the revised design solution, whereby the proposed buildings are broken up and offset from the slope at the southern edge of the site is an acceptable solution. The topography of the surrounding area is such that southern part of the site would experience limited natural sunlight penetration during the winter months. However, the submitted daylight, sunlight and overshadowing study

demonstrates that the proposed amenity spaces would significantly exceed the recommended minimum of sunlight and overall the proposed development performance exceeds recommendations in the BRE 'Site Layout Planning for Daylight and Sunlight: A Guide to Good Practice'.

It is therefore considered that the form and layout of the revised proposals would result in the creation of an acceptable residential environment and accord with the amenity expectations of ALDP policy H2 and PALDP policy D2, subject to provision of external amenity space and garden ground for the occupants. It is noted that most flats would benefit from substantial internal storage space and study spaces which exceeds the minimum standards set in ACC guidance.

Density

Whilst the form of the development is such that it would be of relatively high density (approx. 77 units per hectare), significant communal amenity space / garden ground would be provided for occupants, including play areas. The density of development would exceed the minimum figures expressed within policy H3 within both the ALDP and PALDP. The urban form and height of the proposed buildings would relate well to the adjacent modern flatted block to the south and the ridge height of the highest part of the development would be less than that of the existing flats. It is recognised that the height of the buildings would be significantly greater than adjacent commercial buildings and older residential buildings facing the A96. However, there is a mix of forms and scales of buildings in the surrounding area and these residential buildings are a significant distance from the site. The proposal is therefore not considered to represent overdevelopment, provided that the site is managed as social rented housing, such that it accords with ACC parking standards. Given the density aspirations set out in ALDP and PALDP policy H3, the identification of the site as being suitable for 92 housing units with the SHIP and the absence of sensitive landscapes or heritage designations (e.g. conservation area) in the immediate area it is considered to be unreasonable to insist on a low rise development or reduction in the number of units in this case.

Open Space /Landscape Design / Trees

Although there would be limited usable public open space within the site, the constrained nature of the site precludes provision of such recreational space. Significant recreational public open space / natural woodland exists close to the site, including Auchmill Golf Course and to the north of the A96. However, pedestrian access to this land is constrained by the challenging site levels in the vicinity, and the severance effect of Auchmill Road. The extent of greenspace proposed on site would represent a significant enhancement of the existing situation. Reduction of car parking provision has resulted in increased external amenity space within the site. This has been achieved by reduction in the size of flats proposed whilst maintaining the overall number of units. The extent of communal garden / play space proposed is 836 square metres and usable private garden space would be provided for the ground floor units. Overall, subject to conditions regarding delivery of open space on site and a financial contribution for off-site enhancement, the proposal would accord with ALDP policy NE6, PALDP policy NE2 and related guidance.

The landscape layout has been appropriately designed in accordance with the expectations of ALDP policy D2 and related guidance. In particular, the retention / reinforcement of the existing tree belt / vegetation on the slopes, the provision of private garden space for ground floor flats and usable communal amenity space, including play areas which benefit from sheltered locations and natural surveillance from the flats, is welcome. Conditions can be used to ensure that the detail of planting and boundary treatments addresses the comments expressed by Police Scotland and ensures suitable amenity and security for occupants.

No trees of significance would be removed to accommodate the development. A condition can be imposed to ensure tree protection on site in accordance with the expectations of ALDP/ PALDP policy NE5 and related guidance.

Building Design

The presence of the existing tree belt is such that the buildings would be partly screened from the A96. Whilst the buildings would be more visible from the minor access road to the south, this is not a sensitive visual receptor. The layout and form of the development has been adjusted in order to address amenity concerns regarding the scheme as originally submitted and to better reflect the scheme design which was presented at pre-application stage. A mix of sizes of flats would be provided in accordance with the expectations of ALDP / PALDP policy H4. The form and height of the proposed buildings would relate well to the adjacent modern flatted block to the south and it would be subservient to its overall height. Its massing would be significantly broken up by gable features and change in building plane. Overall, the design solution is considered to demonstrate due regard for its context in accordance with the expectations of ALDP / PALDP policy D1.

Whilst the footprint / depth of the proposed blocks (c. 20m), is approximately twice that of traditional dual aspect tenement buildings and therefore presents significant amenity challenges in terms of sustainable design (e.g. sunlight / daylight penetration / natural ventilation) the scheme has been creatively designed to minimise the apparent depth of the blocks and to introduce significant modelling of their frontages. The agent has advised that the design of the development would be refined at technical design stage with the objective of meeting ACC "Gold Standard" compliance, which exceeds the design standard expressed in the ALDP. A condition can be imposed to ensure that suitable technical measures are incorporated into the development to achieve the requirement of ALDP / PALDP policy R6 and related guidance. Incorporation of secure cycle storage within the ground floor of the buildings has taken place in response to the comments expressed by Police Scotland.

Access

The western part of the site lies outwith 400m walking distance to existing eastbound bus stops on the A96 and there is no existing pedestrian crossing facility nearby. Therefore, provision of a new direct footpath connection to the A96 at the northern edge of the site and light controlled pedestrian crossing of the A96 is required in order to comply with the objective of ALDP policies T2 and T3 and related guidance. The application has been amended to include the provision of a new pedestrian link to the A96. This would enhance pedestrian permeability through the site in accordance with the objectives of ALDP policy NE9. What is currently proposed would result in the loss of a significant number of established trees, to the detriment of the amenity of the area and thus is not acceptable. However details of the precise routing, and construction of this link, which may require the construction of steps, can be required by condition. Implementation of these measures and the required upgrade to pedestrian linkage at the main access can be secured by condition in order to ensure adequate safe and convenient pedestrian linkage to public transport. This is a particularly important material consideration in this case given the major scale of the development, the intended tenure of the development as social housing, including larger family units, the low level of car parking proposed on site and the high volume of traffic and HGV movement on Auchmill Road, such that public safety is an important consideration and there would be a likely high dependency of occupants on alternative transport modes.

Although originally requested by ACC Roads DM, the provision of a secondary emergency vehicle access into the site is not possible in this case due to the substantial change in ground levels across the site. The TS does not require that a second access point is provided and the Scottish Fire and Rescue Service have confirmed to the applicant that they are satisfied with the existing access arrangements. Therefore, the absence of a separate secondary vehicle access in this case does not fundamentally preclude the proposed development.

Traffic Generation / Parking Provision

Given the established use of the site as a commercial garage specialising in the sale and servicing of commercial vehicles, it is considered that the proposal would result in a reduction in the volume of HGV and larger vehicle movements at the site, and consequent reduction in the volume of

vehicles making the potentially hazardous right turn movements at the existing access onto the A96, which has no traffic lights. This is a significant material consideration that weighs in favour of allowing residential development on the site. The submitted TS demonstrates that neither upgrade of the access road, nor junction improvement works / traffic lights on A96, are required to permit the anticipated traffic flows. Notwithstanding the objectors' concerns, the findings of these aspects of the TS are accepted by ACC Roads officers.

The level of car parking proposed accords with the ACC standard for social rented housing (i.e. 80 %) and is considered to be suitably laid out. As the level of car parking proposed on site does not comply with adopted standard for mainstream residential, control of the occupation of the development is required to ensure it is occupied and managed as social rented housing and therefore avoid increased car parking pressure outwith the site. This can be secured by entering into a legal obligation.

Flooding Impact / Surface Water Drainage

Although evidence has been provided that surface water runoff sometimes affects Auchmill Road at a point to the north-west of the site, the reasons for this are unclear and there is no requirement for the development to resolve existing flooding constraints. The submitted FRA demonstrates that the site can be developed without resulting in flood risk to occupants or resulting in increased risk to adjacent property. SEPA have reviewed the information and have no objection to the proposal on flood risk grounds. The increase in greenspace within the site relative to the existing situation is such that the proposals would result in a reduction in the rate of surface water runoff and therefore would reduce flood risk on adjacent land outwith the site.

The submitted DIA accords with the expectations of ALDP policy NE6 (PALDP policy NE4) and related guidance and demonstrates that suitable SUDS would be provided on site (e.g. porous hard surfacing). Significant amendment of the layout, resulting in a reduction in the extent of hard surfacing proposed within the site has taken place, to accommodate SUDS / open space with biodiversity and amenity value in response to the comments expressed by SEPA. It is not considered to be appropriate to provide blue infrastructure (e.g. a pond) within the site in this case due to the aviation concerns expressed by the airport.

Contamination

Redevelopment of the site would enable existing hydrocarbon pollution at the site to be addressed in accordance with the objectives of ALDP policy R2. The submitted site investigation demonstrates that the level of existing contamination would not preclude re-use of the site for the proposed end use and can be addressed by suspensive condition.

Proposed Aberdeen Local Development Plan 2020 (PALDP)

In relation to this particular application, the policies in the PALP substantively reiterate those in the adopted Local Development Plan and the proposal is acceptable in terms of both Plans for the reasons previously given. The fact that the PALDP specifically identifies the application site as a brownfield site with potential for housing and PALDP policy H3 increases the minimum housing density on such sites to 50 units per hectare are material considerations which weigh in favour of the proposal. Assessment relative to policy D2 within the PALDP cannot be fully undertaken as this is dependent on relevant standards / guidance which are yet to be finalised. Although no health impact assessment has been submitted, assessment of the proposal relative to PALDP policy HB1 cannot be undertaken as the relevant guidance referred within the policy is yet to be developed. However, provision of both private and communal external space in excess of current requirement within an appropriately designed development and delivery of a new pedestrian crossing on the A96 would help to achieve a healthy living environment and contributes to sustainable transport.

Other Material Considerations

Although the Council has an interest in the application as it owns part of the site (i.e. the open space

along the northern slope) there is no requirement to refer the application to Scottish Ministers for scrutiny as the development does not constitute a Development Plan Departure.

Heads of Terms of any Legal Agreement

Provision of financial contributions / evidence to address the infrastructure constraints identified in the developer obligations consultation report as follows :

Core paths (£26,784); Primary Education (£26,350); Secondary Education (£27,333); Healthcare (£73,697); Open Space (£13,176); Community Facilities (£131,652); Sport and Recreation (£69,408).

Control of occupation of the development to ensure that it comprises social rented affordable housing managed by ACC or a RSL.

RECOMMENDATION

Approve Conditionally & Legal Agreement

REASON FOR RECOMMENDATION

The delivery of housing on a disused brownfield site within the built-up area of the city which is accessible by public transport accords with the Scottish Planning Policy (SPP) presumption in favour of development that contributes to sustainable development. Given the limited scale of the proposal and that it does not raise matters of a cross boundary nature, the Strategic Development Plan is of limited relevance in this case. Adequate infrastructure exists to service the development, or can be enhanced in accordance with the expectations of Aberdeen Local Development Plan (ALDP) policy I1 (Infrastructure Delivery). Although the site is not specifically identified as a brownfield opportunity site with potential for housing development within appendix 1 of the ALDP, the proposal accords with ALDP spatial strategy to encourage the regeneration of brownfield sites. Delivery of a major affordable housing development on this site would accord with ALDP policy H5 (Affordable Housing). There would be no undue conflict with adjacent uses. It is considered that the form and layout of the revised proposals would result in the creation of an acceptable residential environment and accord with the amenity expectations of ALDP policy H2 (Mixed Use Areas), subject to provision of external amenity space and garden ground for the occupants. Overall, the design solution is considered to demonstrate due regard for its context in accordance with the expectations of ALDP policy D1. The density of development would exceed the minimum figures expressed within policy H3 within the ALDP. The site has recently been identified as being suitable for 92 housing units with the Strategic Housing Investment Plan and as a brownfield site with potential for housing within the Proposed Aberdeen Local Development Plan. These are significant material considerations which weigh in favour of approval of the application. The proposal also sufficiently accords with the relevant policies in the Proposed Aberdeen Local Development Plan. Conditions can be imposed to ensure that the various detailed impacts of the development are addressed.

CONDITIONS

Open Space Provision / Play Area

No dwellings hereby granted planning permission shall be occupied unless the areas of amenity open space, play areas and private garden ground as identified on Drawing No.19155(PL)002 (dated 21.02.20) of the plans hereby approved have been laid out in accordance with the approved drawing or such other drawing as may be submitted to and approved in writing by the Planning Authority. No development pursuant to this planning permission shall take place unless a scheme detailing the manner in which the play areas and open space is to be laid out and maintained has been submitted to and approved in writing by the planning authority. Such scheme shall include provision for a play area comprising at least five items of play equipment and a safety

surface. Reason - in order to preserve the amenity of the neighbourhood.

Tree Protection

No development shall take place pursuant to the planning permission hereby approved unless a further scheme for the protection of all trees to be retained on / adjacent to the site during construction works has been submitted to, and approved in writing by the Planning Authority and any such scheme as may have been approved has been implemented. No materials, supplies, plant, machinery, spoil, changes in ground levels or construction activities shall be permitted within the protected areas specified in the aforementioned scheme of tree protection without the written consent of the Planning Authority and no fire shall be lit in a position where the flames could extend to within 5 metres of foliage, branches or trunks. Reason - In order to ensure adequate protection for the trees on site during the construction of the development.

Landscape Scheme

No development pursuant to the planning permission hereby approved shall be carried out unless there has been submitted to and approved in writing for the purpose by the planning authority a further detailed scheme of soft landscaping for the site, which scheme shall include indications of all existing trees and landscaped areas on the land, and details of any to be retained, together with measures for their protection in the course of development, and the proposed areas of tree/shrub planting including details of numbers, densities, locations, species, sizes and stage of maturity at planting. For the avoidance of doubt, the scheme should contain no open water features. All planting, seeding and turfing comprised in the approved scheme of landscaping shall be carried out in the first planting season following the completion of the development and any trees or plants which within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of a size and species similar to those originally required to be planted, or in accordance with such other scheme as may be submitted to and approved in writing for the purpose by the planning authority. Reason - in the interests of the amenity of the area and in the interests of aviation safety.

External Materials

No development shall take place unless a scheme detailing all external finishing materials to the roof and walls of the development hereby approved has been submitted to, and approved in writing by, the planning authority. Thereafter the development shall be carried out in accordance with the details so agreed. Reason - in the interests of visual amenity.

Boundary Treatment / Security Measures

No development pursuant to this planning permission shall take place, nor shall any part of the development hereby approved be occupied, unless there has been submitted to and approved in writing by the Planning Authority, a detailed scheme of site, plot and open space boundary enclosures for the entire development hereby granted planning permission. None of the buildings hereby granted planning permission shall be occupied unless the said scheme has been implemented in its entirety. Reason - in order to preserve the amenity of the neighbourhood.

SUDS

No development shall take place unless a scheme of all drainage works designed to meet the requirements of Sustainable Urban Drainage Systems has been submitted to and approved in writing by the Planning Authority and thereafter no part of the development shall be occupied unless the drainage has been installed in complete accordance with the said scheme. Reason - in order to safeguard water qualities in adjacent watercourses and to ensure that the development can be adequately drained.

Construction Management Scheme

No development pursuant to this planning permission shall take place unless a detailed site-

specific construction method statement for the site has been submitted to and approved in writing by the planning authority. The method statement must address the temporary measures proposed to deal with surface water run-off and specify dust abatement measures on site during construction and prior to the operation of the final SUDS / completion of the development. Such statement shall be implemented in full for the duration of works on the site. Reason - in order to prevent potential water and air pollution.

Pedestrian connection to A96 / Path Works

No development shall take place pursuant to this permission unless there has been submitted to and agreed in writing by the planning authority a scheme for provision of a direct footpath link to the A96 at the northern edge of the site, including details of tree protection measures, the extent of any cut / fill, site sections as existing and proposed, proposed surfacing, handrails and lighting. Thereafter the development shall not be occupied unless the said footpath link and the access paths within the site have been implemented in full. Reason - In order to provide adequate pedestrian access, in the interests of encouragement of sustainable transport and public safety.

Cycle Parking / Storage

None of the flats hereby granted planning permission shall be occupied unless a scheme detailing secure cycle storage and visitor cycle provision has been submitted to, and approved in writing by the planning authority, and thereafter implemented in full accordance with said scheme. Reason - in the interests of encouraging more sustainable modes of travel.

Car Parking

The development hereby approved shall not be occupied unless the car parking areas hereby granted planning permission have been constructed, drained, laid-out and demarcated in accordance with drawing No. 19155(PL)002 of the plans hereby approved or such other drawing as may subsequently be submitted and approved in writing by the planning authority. Such areas shall not thereafter be used for any other purpose other than the purpose of ancillary vehicle parking / provision of access to the development and use hereby granted approval. Reason - in the interests of public safety and residential amenity.

Traffic Calming

No development shall take place unless there has been submitted to and approved in writing by the Planning Authority, a detailed scheme of traffic calming measures for the carriageway within the development hereby granted planning permission. Reason - in the interests of public safety and the avoidance of conflict with use of the proposed play area adjacent to the car park.

Off Site Road Measures (A96 Pedestrian / Cycle Crossing)

No development shall take place unless there has been submitted to and agreed in writing by the planning authority a scheme for the provision of a Toucan (Pedestrian / Cycle) crossing on the A96 to the north of the site. Thereafter the development shall not be occupied unless the said crossing facility has been implemented in full. Reason - In the interests of public road safety and the encouragement of sustainable travel.

External Lighting

No development shall take place unless a scheme for external lighting within the site, including lighting of the footpath link, has been submitted to and approved in writing by the Planning Authority, and thereafter the development shall not be occupied unless the said scheme has been implemented in full, Reason - In order to minimise potential light pollution and in the interested of protection of residential amenity and public safety.

Noise Attenuation

None of the flats hereby approved shall be occupied unless the relevant mitigation measures identified in the submitted Noise Impact Assessment by KSG Acoustics dated 13/01/2020, or such

other assessment as may be approved by the planning authority, have been implemented, as required for each block. Reason - In order to protect residential amenity.

Contamination Mitigation

No development shall take place, other than demolition works, unless it is carried out in full accordance with a scheme to deal with contamination on the site that has been approved in writing by the planning authority. The scheme shall follow the procedures outlined in Planning Advice Note 33 Development of Contaminated Land and shall be conducted by a suitably qualified person in accordance with best practice as detailed in BS10175 Investigation of Potentially Contaminated Sites - Code of Practice and other best practice guidance and shall include:

1. an investigation to determine the nature and extent of contamination,
2. a site-specific risk assessment,
3. a remediation plan to address any significant risks and ensure the site is fit for the use proposed.

No buildings on the development site shall be occupied unless:-

1. any long-term monitoring and reporting that may be required by the approved scheme of contamination or remediation plan or that otherwise has been required in writing by the planning authority is being undertaken and
2. a report specifically relating to the building(s) has been submitted and approved in writing by the planning authority that verifies that remedial works to fully address contamination issues related to the building(s) have been carried out, unless the planning authority has given written consent for a variation.

The final building on the application site shall not be occupied unless a report has been submitted and approved in writing by the planning that verifies that completion of the remedial works for the entire application site, unless the planning authority has given written consent for a variation.

Reason: in order to ensure that the site is fit for human occupation

LZCT / Water Efficiency

The buildings hereby approved shall not be occupied unless a scheme detailing compliance with the Council's "Resources for New Development" supplementary guidance has been submitted to and approved in writing by the planning authority, and any recommended measures specified within that scheme for the reduction of carbon emissions and water efficiency have been implemented in full. Reason - To ensure that this development complies with requirements for reductions in carbon emissions specified in ALDP policy R6 and in the interest of sustainable development.

Bin Storage

The use hereby granted planning permission shall not take place unless provision has been made within the application site for storage of refuse and recycling bins in accordance with a scheme which shall have been submitted to and approved in writing by the planning authority and which shall confirm the proposed storage capacities and uplift arrangements. Reason - in order to preserve the amenity of the neighbourhood and in the interests of public health.

ADVISORY NOTES FOR APPLICANT

Noise from site construction works

In order to protect amenity of the occupants of the neighbouring residences and prevent any

potential noise nuisance outwith the site caused by construction works, it is recommended that construction works / operations should not occur:

- Outwith the hours of 07:00 to 19:00 Monday to Friday and
- Outwith the hours of 08:00 to 13:00 on Saturdays

, unless otherwise agreed with the Aberdeen City Council Environmental Health Service

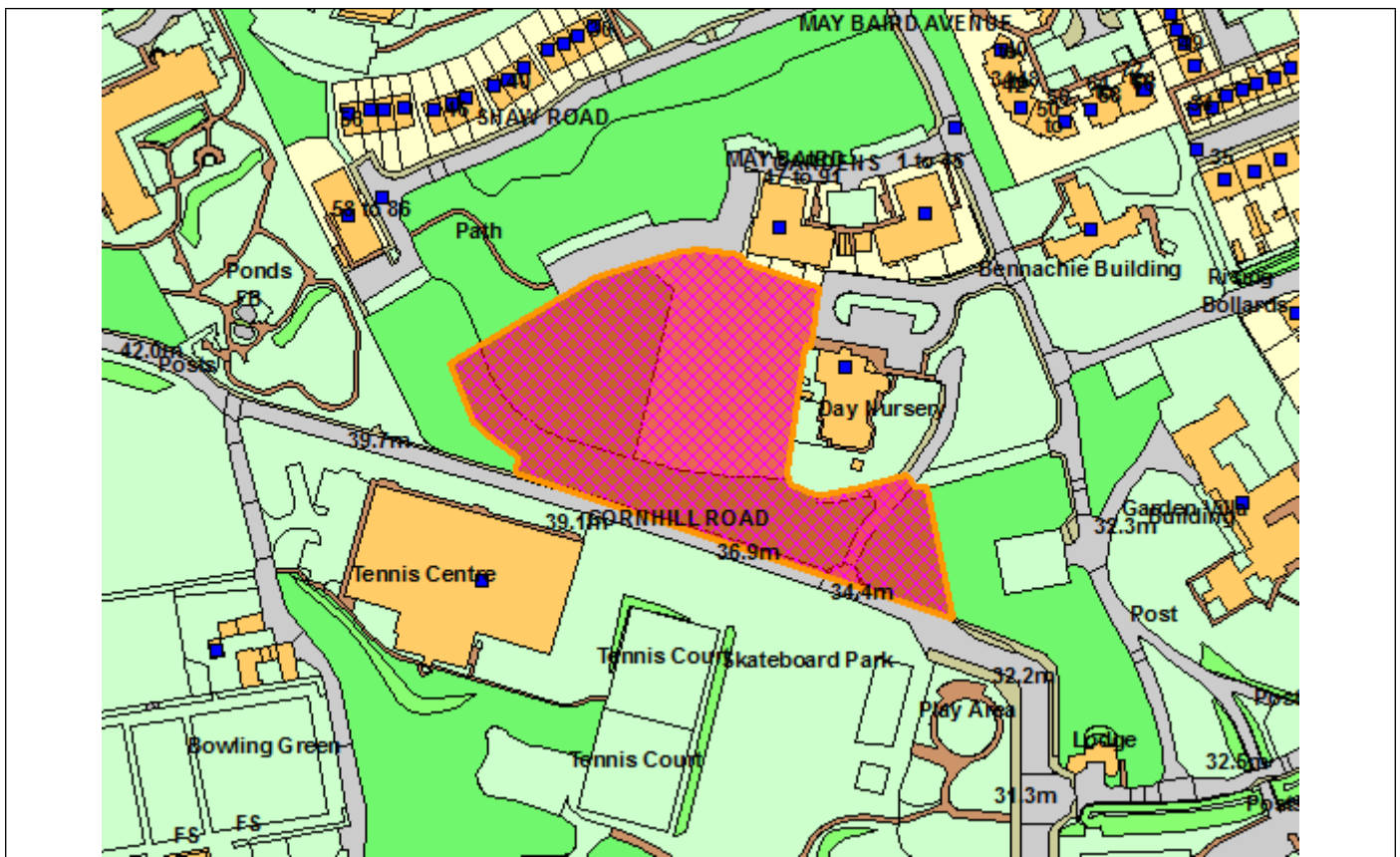


Planning Development Management Committee

Report by Development Management Manager

Committee Date: 19 March 2020

Site Address:	Former Ross Clinic, May Baird Avenue, Aberdeen, AB25 2ZX
Application Description:	Erection of 32 apartments over 4 and a half storeys with associated car parking, landscaping and works
Application Ref:	191755/DPP
Application Type	Detailed Planning Permission
Application Date:	27 November 2019
Applicant:	CALA Management Ltd & NHS Grampian
Ward:	Mid Stockert/Rosemount
Community Council:	Rosemount And Mile End
Case Officer:	Lucy Greene



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RECOMMENDATION

Willingness to Approve, subject to conditions, and subject to the signing of a legal agreement to secure contributions towards: core path network, primary education, healthcare, community facilities, affordable housing and provision of upgrade to bus shelter on south side of Westburn

Road.

APPLICATION BACKGROUND

Site Description

The application site is 1.01ha in size containing a large number of trees within the southern and western areas, the remainder of the site is grassed. The site was originally part of a much larger area forming part of the grounds of the Elmhill House Asylum, the area lies within the Rosemount Conservation Area. Elmhill House is Category B listed and has been converted to flats, it lies approximately 150m to the north. Subsequently a number of developments have taken place within the grounds, most notably the two 5 storey flatted blocks to the immediate north of the site, containing 46no. flats and completed in 2016. These are five storeys in height with balconies on the south elevation. To the east is a NHS nursery within a two storey building of relatively recent construction. To the west is green open space containing large mature trees and to the south lies Westburn Park on the opposite side of Cornhill Road.

The entire site and much of the surrounding area is covered by two Tree Preservation Orders (nos 92 and 220).

The site is currently accessed via May Baird Avenue, with the nearest vehicular access being the access road to the nursery carpark. Further north May Baird Gardens provide access to the recently developed flats to the north of the site. Cornhill Road lies to the south of the application site and there is a currently blocked of vehicular entrance with gate piers. May Baird Avenue and Gardens are privately owned unadopted roads. Between Westburn Road and the turn off to May Baird Avenue, which provides access to Cornhill Hospital, there are 2-3m wide surfaced footways on both sides of the road, whilst north of May Baird Avenue the footways are unsurfaced, with these narrowing and reducing to one footway as Cornhill Road narrows adjacent to the south east corner of the site. At its junction with Westburn Road there are 20mph and 'No Through Road' signs. Cornhill Road provides access to the Westburn Park Tennis Centre and into the park.

Relevant Planning History

Application Number	Proposal	Decision Date
190002/DPP	Erection of 36 flats over 4 and a half storeys, with associated car parking and landscaping	Withdrawn 24.10.19

APPLICATION DESCRIPTION

Description of Proposal

The proposal is for the erection of a building containing 32 flats. It would consist of two joined blocks, one of 4 and one of 5 storeys in height, the latter with the top storey being of smaller floor plate and set back from the main elevations. The building would be close in architectural style, form and materials to the existing blocks.

Twenty four mainstream 2 bed flats would be provided, and eight affordable flats. It has been indicated that the affordable flats would be bought by a housing association. There would be 4no. one bed and 4no. 2 bed affordable flats within the four storey element of the building which is to the east. These flats would have a separate entrance and stair, with each flat having windows to two elevations.

The mainstream flats would have entrances to the front (west) and rear (east) elevations, with lift

and stair access to upper floors. There would be 5no. 2 bed flats per floor on the lower four floors, whilst the top floor would contain 4no. larger 2 bed flats. Each flat would have a private balcony or patio.

It is proposed to reopen the vehicular entrance from Cornhill Road, which is flanked by gate posts within a granite wall. The entrance would be widened, with the gateposts being relocated and sections of walls rebuilt. Parking would be provided to the south and west of the building, with the access road linking through with the existing May Baird Gardens. Through vehicular access for all but emergency vehicles would be prevented by the installation of bollards.

Supporting Documents

All drawings and supporting documents listed below can be viewed on the Council's website at:

<https://publicaccess.aberdeencity.gov.uk/online-applications/applicationDetails.do?activeTab=documents&keyVal=Q1DOWL BZLE600>

Reason for Referral to Committee

The application has been referred to the Planning Development Management Committee because it falls outwith the scheme of delegation due to the number of objections. Objections from 15no. parties have been received.

CONSULTATIONS

Waste Strategy Team – Condition required, relating to refuse bin storage area.

Developer Obligations – Contributions are sought as follows:

Core path network £9226;

Primary Education £7905

Healthcare £14310

Community Facilities £6200

Affordable Housing – in line with policy, 8 units should be provided.

Roads Development Management Team – makes the following comments:

- Pedestrian facilities should be provided between the development and Cornhill Road;
- Parking provision is acceptable
- Active Electric Vehicle charging point should be provided in addition to the two passive points provided.
- Layout of parking adjacent bin store and disabled space needs to be adjusted – to be covered by condition.
- In order to encourage provision of public transport, a bus stop on Westburn Road (west bound) should be upgraded.
- Conditions required relating to cycle parking, safer routes to school, travel plan and SUDS.

Environmental Health – No objection – air quality unlikely to be significantly impacted

Scottish Water – No comments received.

Rosemount And Mile End Community Council – It is questioned whether the affordable housing should be clustered into one wing, as this is contrary to the spirit of the legislation. Although zoned as part of CF1 in the LDP in association with the adjacent healthcare uses, the

site is urban green space, which has considerable value to the community. The development of the area would result in a significant erosion to the character of the area.

REPRESENTATIONS

The following matters were raised in the 15no.letters of objection:

- Insufficient parking, which will put additional pressure on the existing flats' parking. This is also abused by NHS staff;
- The proposed development would tower over the nursery
- The proposed development would create privacy issue with the nursery as children should be able to play outside without being overlooked.
- Children use the outdoor space several times a week, there should not be a path between the flats and the nursery, it will be used as short cut;
- The proposal has not addressed May Baird Avenue, its narrow width and lack of adequate pedestrian facilities. There will be increased traffic on May Baird Avenue;
- Questions why the Council did not make a decision on the previous application;
- Questions why there was a shorter notification period over the Christmas period, which provides less opportunity for community comment;
- Duplicity of developer should be taken into account, as it is clear from the road layout that it was always the intention of the developer to construct the development in the current application (owners state they were told otherwise at time of purchase);
- The proposed development is far too large
- Clustering of affordable housing into one stairwell should not be permitted;
- Development should not rely on emergency access through another development. Cars parked in May Baird Gardens often partially block the route, so that larger vehicles may not get through;
- Would like assurance that May Baird Gardens will not be used at any time for construction or access, it is privately owned and maintained. The residents, including parents with prams, use the route and would be put at risk;

MATERIAL CONSIDERATIONS

Legislative Requirements

Sections 25 and 37(2) of the Town and Country Planning (Scotland) Act 1997 require that where, in making any determination under the planning acts, regard is to be had to the provisions of the Development Plan and that determination shall be made in accordance with the plan, so far as material to the application unless material considerations indicate otherwise.

National Planning Policy and Guidance

Scottish Planning Policy

Aberdeen City and Shire Strategic Development Plan (2014) (SDP)

The purpose of the SDP is to set a spatial strategy for the future development of the Aberdeen City and Shire. The general objectives of the plan are promoting economic growth and sustainable economic development which will reduce carbon dioxide production, adapting to the effects of climate change, limiting the use of non-renewable resources, encouraging population growth, maintaining and improving the region's built, natural and cultural assets, promoting sustainable communities and improving accessibility.

From the 29 March 2019, the Strategic Development Plan 2014 will be beyond its five-year review period. In the light of this, for proposals which are regionally or strategically significant or give rise to cross boundary issues between Aberdeen City and Aberdeenshire, the presumption in favour of development that contributes to sustainable development will be a significant material consideration in line with Scottish Planning Policy 2014.

The Aberdeen City Local Development Plan 2017 will continue to be the primary document against which applications are considered. The Proposed Aberdeen City & Shire SDP may also be a material consideration. The Proposed SDP constitutes the settled view of the Strategic Development Planning Authority (and both partner Councils) as to what should be the final content of the next approved Strategic Development Plan. The Proposed SDP was submitted for Examination by Scottish Ministers in Spring 2019, and the Reporter has now reported back. The Scottish Ministers will consider the Reporter's Report and decide whether or not to approve or modify the Proposed SDP. The exact weight to be given to matters contained in the Proposed SDP in relation to specific applications will depend on whether:

- these matters have been subject to comment by the Reporter; and
- the relevance of these matters to the application under consideration.

The Reporters response does not affect the Proposed SDP in a manner that is relevant to this application.

Proposed Aberdeen Local Development Plan

The Proposed Aberdeen Local Development Plan (Proposed ALDP) was approved at the Council meeting of 02 March 2020. The Proposed ALDP constitutes the Council's settled view as to what the final content of the next adopted ALDP should be and is now a material consideration in the determination of planning applications. The Aberdeen Local Development Plan 2017 will continue to be the primary document against which applications are considered. The exact weight to be given to matters contained in the Proposed ALDP (including individual policies) in relation to specific applications will depend on whether:

- these matters have been subject to public consultation through the Main Issues Report; and,
- the level of objection raised in relation these matters as part of the Main Issues Report; and,
- the relevance of these matters to the application under consideration.

The foregoing can only be assessed on a case by case basis.

Aberdeen Local Development Plan (2017)

Policy CF1 – Existing Community Facilities
Policy NE3 – Urban Green Space
Policy D1 – Quality Placemaking by Design
Policy D2 - Landscape
Policy D4 – Historic Environment
Policy I1 – Planning Obligations
Policy T2 – Managing the Transport Impact of Development
Policy T3 – Sustainable and Active Travel
Policy H1 – Residential Areas
Policy H3 – Density
Policy H5 – Affordable Housing
Policy NE5 – Trees and Woodland

Policy NE6 – Flooding, Drainage and Water Quality
Policy NE8 – Natural Heritage
Policy R7 – Low and Zero Carbon Buildings

Supplementary Guidance and Technical Advice Notes

Transport and Accessibility

EVALUATION

Principle of Development

The site lies within Policy CF1 allocation. Two sections of this policy are of particular relevance:

- Where land or buildings become surplus to current or anticipated future requirements, alternative uses which are compatible with adjoining uses and any remaining community uses will be permitted in principle.
- where a CF1 area contains uses other than that for which the area has been designated and these uses make a positive contribution to the character and community identity of the area, any proposals for development or changes of use, whether or not for the community use recognised in the designation, will be opposed if a likely result would be significant erosion of the character of the area or the vitality of the local community.

On CF1 policy, the site is part of a wider open space use and this would be reduced in size.

Secondly, Policy NE3: Urban Green Space is relevant. It states that the policy includes for smaller areas not designated on maps.

There is a presumption against development of green space – again the deciding factor is degree of loss to amenity and landscape character.

It is noted that development on land immediately adjacent and bearing the same designation has previously been accepted by the planning authority, however earlier development allowed for the existing open space to be substantially retained, with the development of 'pavilions' within a parkland setting and a focus on previously developed areas and road frontages. There comes a point at which the cumulative impact of development within this area of open space (albeit, that it included the former Ross Clinic, whose footprint is noted) has a detrimental impact on the character of the area. In considering this, the amenity of the residents of the existing recently built flats would be taken into consideration, as would that of the users of the nursery.

The proposal allows for the retention of the significant trees in the area, which will be discussed further below, and makes a relatively small impact on the green space considering the remaining space. It is a matter of judgement, the level to which the green space may be developed in the manner that included the previous May Baird Gardens development and now this current proposal. It is considered that the current proposal is acceptable in terms of its overall footprint, within the wider green space (which includes areas within this application site as well as adjoining area - all of which function as one open space). This is on the basis that the green space that would remain following the implementation of this application would provide for the residential open space and amenity needs of the existing and future residents as well as other existing users.

Policy NE5: Trees and Woodland is also relevant. The entire site is covered by TPO. 12no. trees are proposed to be removed, these are 6no. sycamore of between 12 – 14m in height and 6no. hollies of 6-9m in height. The trees to be removed are those that are smaller and further from the site boundary and their loss can be mitigated by replacement planting. Larger beech and oak trees would remain, as well as trees that form the screening along Cornhill Road.

Policy NE8 – the trees to be removed do not have high bat roost potential and the walkover survey did not identify the presence of other species.

Residential Development, Design and Amenity

The following comments are made:

- The proposed building would front onto the green space to the west, taking advantage of this outlook and responding to the landscape setting.
- the proposal would result in the existing building to the north retaining an outlook onto green open space in the area immediately in front of the building;
- There is a coherence to the layout when considered together with the existing flats and nursery. The proposed access road would provide a pedestrian link through the site, and onto Cornhill Road, that could also be used by future and existing residents. A path would also be provided that could be used by children from the nursery in walking to the green space to the west.
- The proposed building is of larger scale than the existing nursery building, however, the smaller four storey element would be located next to the flats, the relatively narrow footprint and set back of the upper storey would help reduce the impact of the height difference.
- The windows within the proposed east elevation are sufficient distance from the nursery to have no significant impact on privacy.
- In terms of sunlight, although there would be an impact on the existing flats to the north, the relatively narrow form and the distance between the buildings, mean that the relationship would be similar to buildings on opposite sides of a wide street. There would be a reduction in sunlight for part of the day in the winter months as can be seen in the Sunlight study carried out by the applicant.
- Design approach is similar to the existing blocks. Balconies are included for all the mainstream flats. The affordable flats would be double aspect, each having windows on two elevations and it is considered that the open space in the area would provide sufficient communal amenity space.

Affordable housing and a suitable density would be provided by the proposal, taking into account the areas of protected trees. The locating of the affordable housing in the four storey block is considered a practical approach as a four storey building would not require a lift, which would be an unwanted maintenance burden for a housing association. Housing associations generally prefer to manage entire blocks of accommodation in order to maximise efficiencies in maintenance. The approach taken to include affordable and mainstream in a single building of two joined blocks, is therefore welcomed.

Transport and Travel

Public transport is well provided from nearby streets. This would be from bus stops on Westburn Road and Berryden Road mainly. Walking to Westburn Road would be via Cornhill Road and this would also be the route to shops in Rosemount and to the Skene Square Primary School. In order to provide for pedestrians from the site, it is considered that any permission should be conditional upon a path being provided within the site linking with the section of Cornhill Road that has wider footways. The short section of footway in this area should also be upgraded.

Footways are provided southwards from the sharp bend in the road just to the south of the application site.

Travel plan and further work on Safer Routes to School would also be required by condition. Parking would be provided in accordance with the standards; three electric vehicle charging points would be provided, with one of these being active.

Bollards would be installed to prevent all but emergency services using May Baird Gardens to access the site. Similarly, vehicular access for future residents would be via Cornhill Road. There

is no reason therefore to conclude that there would be a significant impact on the access and parking for existing residents.

Conditions are proposed to be attached to allow for construction access and locations of site huts to be agreed, in order to minimise damage to trees and disruption.

Historic Environment

The proposal would result in the retention of trees along the public boundary of the site, along Cornhill Road. The buildings within the immediate surroundings of the site are not historic in character and the proposed building would be partially or almost fully screened (depending on the season) when viewed from Cornhill Road. This would ensure that the character of the conservation area is preserved.

There would be no significant impact on the setting of the Category B Elmhill House, as there is already recent development between the listed building and the application site.

Drainage

A drainage assessment has been provided. The proposal is that surface water would be drained via porous paving and filter drains to a cellular tank, with the water then soaking away. Further details would be required via a condition.

Proposed Aberdeen Local Development Plan

In relation to this particular application, the policies in the Proposed Aberdeen Local Development Plan (ALDP) substantively reiterate those in the adopted Local Development Plan and the proposal is acceptable in terms of both Plans for the reasons previously given.

Heads of Terms of any Legal Agreement

These would include the contributions sought towards: core path network, primary education, healthcare and community facilities, as well as to ensure the affordable housing is provided in perpetuity and upgrade of bus stop.

RECOMMENDATION

Willingness to Approve, subject to conditions, and subject to the signing of a legal agreement to secure contributions towards: core path network, primary education, healthcare, community facilities, affordable housing and provision of upgrade to bus shelter on south side of Westburn Road.

REASON FOR RECOMMENDATION

The proposed development site is on part of an existing green open space within a site zoned under Policy CF1 – Existing Community Facilities. It is considered that although there are tensions with this policy and Policy NE3 – Urban Green Space, the proposal would result in the retention of a significant proportion of the green space, along with the mature trees and those along the site boundary. The proposal would provide high quality accommodation with both private and communal amenity space for occupants of the mainstream flats, as well as affordable housing within a mixed tenure community, all of which is located with good access to public transport links and relatively close to facilities in Rosemount and Berryhill.

Impact on trees would comply with Policy NE5 – Trees and Woodland, as the publicly visible and larger trees would remain. The loss of trees would be mitigated by replacement planting.

With the enhancement of pedestrian links out of the site in the proposal would comply with Policies

T2 and T3 relating to mitigating the transport impact of development and provision for sustainable travel.

CONDITIONS

1. That the use hereby granted planning permission shall not take place unless provision has been made within the application site for refuse storage and disposal in accordance with a scheme which has been submitted to and approved in writing by the planning authority - in order to preserve the amenity of the neighbourhood and in the interests of public health.
2. That the flats shall not be occupied unless the car park has been laid out, bollards installed, path from nursery laid out with access across the car park to green space and cycle parking been provided close to the building in accordance with a plan submitted to and approved in writing by the planning authority.
Reason – in order to encourage active travel and residential amenity.
3. That no development shall take place unless a scheme of all drainage works designed to meet the requirements of Sustainable Urban Drainage Systems has been submitted to and approved in writing by the Planning Authority and thereafter no part of the development shall be occupied unless the drainage has been installed in complete accordance with the said scheme - in order to safeguard water qualities in adjacent watercourses and to ensure that the development can be adequately drained.
4. That no development shall take place unless a scheme detailing all external finishing materials to the roof and walls of the development hereby approved has been submitted to, and approved in writing by, the planning authority and thereafter the development shall be carried out in accordance with the details so agreed - in the interests of visual amenity.
5. That all planting, seeding and turfing comprised in the approved scheme of landscaping shall be carried out in the first planting season following the completion of the development and any trees or plants which within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of a size and species similar to those originally required to be planted, or in accordance with such other scheme as may be submitted to and approved in writing for the purpose by the planning authority - in the interests of the amenity of the area.
6. That no development shall take place unless a scheme for the approved scheme within the Revised Updated Ecology Report for the protection of all trees to be retained on the site during construction works has been implemented - in order to ensure adequate protection for the trees on site during the construction of the development.
7. that no part of the development hereby approved shall be occupied unless a plan and report illustrating appropriate management proposals for the care and maintenance of all trees to be retained and any new areas of planting (to include timing of works and inspections) has been submitted to and approved in writing by the Planning Authority. The proposals shall be carried out in complete accordance with such plan and report as may be so approved, unless the planning authority has given prior written approval for a variation - in order to preserve the character and visual amenity of the area.
8. that any tree work which appears to become necessary during the implementation of the development shall not be undertaken without the prior written consent of the Planning

Authority; any damage caused to trees growing on the site shall be remedied in accordance with British Standard 3998: 2010 "Recommendations for Tree Work" before the building hereby approved is first occupied - in order to preserve the character and visual amenity of the area.

9. That no materials, supplies, plant, machinery, spoil, changes in ground levels or construction activities shall be permitted within the protected areas specified in the aforementioned scheme of tree protection without the written consent of the Planning Authority and no fire shall be lit in a position where the flames could extend to within 5 metres of foliage, branches or trunks - in order to ensure adequate protection for the trees on site during the construction of the development.
10. That no development shall take place unless there has been provided a pedestrian facilities between the car park access road within the site and Cornhill Road close to the bend in the road, together with an upgrade of the stretch of existing footway on the north side of Cornhill Road close to the south east corner of the application site, or such other scheme for pedestrian provision as may be agreed. The works shall be fully in accordance with details submitted to and approved in writing by the planning authority, including of the following:
 - a. A tree survey showing root protection areas within the area of the footpath, where appropriate;
 - b. The method of construction of the footpath, taking into account impact on tree roots, where appropriate;
 - c. Details of the opening within the existing granite wall, between Cornhill Road and the site, where appropriate.
 - d. Details of bollard type lighting, or other as so agreed.
 - e. Details of the upgrade works to the footway close to the corner of Cornhill Road.Reason – in order to provide adequate pedestrian access.
11. That no development shall take place unless there has been provided a revised detailed layout of the junction onto Cornhill Road and internal site junction close to the site entrance, taking into account vehicle movements including of interactions between refuse vehicles and cars.
Reason – in the interests of road safety.
12. That the development shall not be brought into use unless the wall and narrow footway at the site entrance has been rebuilt and re-laid including use of existing materials, including existing footway edging stones, in accordance with elevational and layout drawings and specification that has been submitted to and approved in writing by the planning authority.
Reason – in the interests of preserving the character of the Conservation Area.
13. That all measures within the recommendations of the Revised Updated Ecology Survey shall be implemented, in particular, including:
 - a. Tree branches of tree 1176 shall be cut back to a height of 5m, or as otherwise agreed within the planning authority.
 - b. No external lighting shall be installed other than accordance with details of type and location, submitted to, and approved in writing by the planning authority;
 - c. Tree work shall be carried out outwith the bird nesting season
 - d. That any mesh security fencing shall be covered with fine mesh plastic sheeting, or other as agreed with the planning authority, in order to avoid bat collision

Reason – in the interests of natural heritage and road safety.

14. That no development shall take place unless there has been submitted to and approved in writing by the planning authority, a construction method statement that shall include the following details:

- a. Route to be used by construction vehicles
- b. Location of site huts

Thereafter works shall take place only in accordance with the plans as so approved.

Reason – in the interests of protecting trees.

15. That no development shall take place unless there has been submitted to and approved in writing a detailed Travel Plan, which outlines sustainable measures to deter the use of the private car, in particular single occupant trips and provides detailed monitoring arrangements, modal split targets and associated penalties for not meeting targets.

- in order to encourage more sustainable forms of travel to the development.

16. that the building hereby approved shall not be occupied unless a scheme detailing compliance with the Council's 'Low and Zero Carbon Buildings' supplementary guidance has been submitted to and approved in writing by the planning authority, and any recommended measures specified within that scheme for the reduction of carbon emissions have been implemented in full - to ensure that this development complies with requirements for reductions in carbon emissions specified in the City Council's relevant published Supplementary Guidance document, 'Low and Zero Carbon Buildings'.

ADVISORY NOTES FOR APPLICANT

Hours of construction

that, except as the Planning Authority may otherwise agree in writing, no construction or demolition work shall take place:

- (a) outwith the hours of 7.00 am to 7.00 pm Mondays to Fridays;
- (b) outwith the hours of 8.00 am to 1.00 pm Saturdays; or
- (c) at any time on Sundays,

except (on all days) for works inaudible outwith the application site boundary. [For the avoidance of doubt, this would generally allow internal finishing work, but not the use of machinery] - in the interests of residential amenity.

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ABERDEEN CITY COUNCIL

COMMITTEE	Planning Development Management
DATE	19 March 2020
EXEMPT	No
CONFIDENTIAL	No
REPORT TITLE	Technical Advice Note: Development Along Lanes
REPORT NUMBER	PLA/20/063
DIRECTOR	
CHIEF OFFICER	Gale Beattie
REPORT AUTHOR	Nigel McDowell
TERMS OF REFERENCE	5) Adopt non-statutory planning management guidance

1. PURPOSE OF REPORT

- 1.1. To seek approval to adopt the new Technical Advice Note (TAN) 'Development Along Lanes'.

2. RECOMMENDATIONS

That the Committee:

- 2.1. Notes the consultation findings of the Draft 'Development Along Lanes' document approved for public consultation by the Planning and Development Management Committee on 19 September 2019; and subsequent revisions proposed by Officers to the Draft document (refer Appendix 1).
- 2.2. Approves the Technical Advice Note 'Development Along Lanes' as planning advice in the determination of relevant planning applications.

3. BACKGROUND

Planning Policy Status

- 3.1. The Aberdeen Local Development Plan 2017 is supported by statutory Supplementary Guidance (SGs) and non-statutory advice such as Technical Advice Notes (TANs) and Local Planning Advice (LPA). At the Planning and

Development Management Committee on 19 September 2019 the Draft document was provisionally called 'Local Planning Policy' to be a material consideration in planning matters. Further to discussions with the Local Development Plan Team in Strategic Place Planning, our advice to Members is that this document now to be progressed as a Technical Advice Note to the adopted Local Development Plan, and at the relevant time be proposed as Aberdeen Planning Guidance to the emerging Aberdeen Local Development Plan 2022. This is simply a change in terminology – from Local Planning Policy to Aberdeen Planning Guidance and the status of non-statutory planning guidance would apply to either term.

Context to Development Along Lanes

- 3.2. Report PLA/19/305 to the Planning Development Management Committee of 19 September 2019 outlined the circumstances for the creation of the Draft Technical Advice Note. The Technical Advice Note is created as a planning response to the recent trend of historic property in use as office accommodation becoming redundant due to the supply of 21st century purpose-built office accommodation. The Draft Technical Advice Note recognises this context of change and provides a design-led planning advice on the sympathetic remodelling of these historic buildings, their curtilage and feus within the city centre and the Albyn Place / Rubislaw Conservation Area (See Appendix 2), as well as encouraging lanes and mews buildings within new development in accordance with the existing Technical Advice Note on Masterplanning. (All the Masterplanned Zones are illustrated on page 45 of the Aberdeen Local Development Plan 2017).

Public Consultation Programme

- 3.3. In agreeing Report PLA/19/205 Members approved a minimum 4week period of public consultation on the Draft TAN, and for Officers to report back the findings of the public consultation exercise back to this Committee within 6 months, which is the purpose of this Report.
- 3.4. The public consultation on the Draft TAN ran for a period of four weeks from Monday 11 November 2019 to Monday 9 December 2019. The document was made available and publicised during the consultation by the following methods:
- Publication of the Draft document on the Aberdeen City Council 'Consultation Hub'
<https://consultation.aberdeencity.gov.uk/>
 - Press Advert in the P&J newspaper on 11 November 2019.
 - Hard copy of the document available for review at Marischal College, between 9am and 5pm Monday to Friday and in the Aberdeen Central Library during their normal opening hours.

- Press release issued on the Council’s website advertising the 4-week consultation period, including how to view and comment on the Draft document.
- Notification (email) of the draft and its 4-week consultation period issued to statutory consultees and all Community Councils.
- Sent to Aberdeen Society of Architects for circulation to members.

Public Consultation Findings Summary

3.5. The consultee comments received, the Officer responses and any revision made to the raft document are recorded in Appendix 1. Full versions of the representations received can be viewed upon request. The Draft ‘Development Along Lanes’ document was widely advertised, however, the consultation programme yielded four responses and therefore the assumption is that interested parties must have been generally content with the Draft. Nonetheless the comments received were positive and helpful in finalising the Technical Advice Note.

Strategic Environmental Assessment

3.6. A Strategic Environmental Assessment (SEA) consultation request was submitted to the Scottish Government Gateway as the Draft document fell within the criteria of ‘sets the framework for future development consent of projects’ remit. A SEA Screening submission did not prompt a response therefore the Technical Advice Note is considered not likely to have significant environmental effects in its delivery.

4. FINANCIAL IMPLICATIONS

4.1. There are no financial implications arising from approval of this report.

5. LEGAL IMPLICATIONS

5.1. There are no legal implications arising from approval of this report.

6. MANAGEMENT OF RISK

Category	Risk	Low (L) Medium (M) High (H)	Mitigation
Financial	None	N/A	N/A
Legal	None	N/A	N/A
Employee	By not providing approved advice and direction Officers could over time provide inconsistent advice resulting in longer timescales to manage and	Low	The Technical Advice Note provides parameters to encourage acceptable forms of development in advance of planning applications being submitted. This enables

	process planning applications.		consistent advice for site-specific proposals.
Customer	By not providing advice the Customer is open to developing proposals that may not be appropriate to the site.	Low	Preparing planning advice provides greater clarity, consistency and certainty in the topic area.
Environment	Not providing this advice could result in lost opportunities to protect and enhance our built environment and encourage appropriate forms of development.	Medium	Technical Advice is prepared to give planning consideration and parameters and is a material consideration in the evaluation of planning proposals and is subject to Strategic Environmental Assessment screening.
Technology	None	N/A	N/A
Reputational	Not providing approved advice opens the possibility of inconsistency and delays in decision making.	Medium	The preparation and approval of Technical Advice illustrates the Council's approach to development matters in protecting and enhancing our city through consistent means.

7. OUTCOMES

Local Outcome Improvement Plan Themes	
	Impact of Report
Prosperous Economy	Approved planning advice provides a direction to front-load planning matters and stimulate ideas at the earliest stages of the development process. This advice promotes the technical requirements for development opportunities along lanes in the city centre, and in part of the Albyn Place / Rubislaw Conservation Area as well as in masterplanned areas to promote dwelling choice and create attractive sustainable places in Aberdeen. <i>(Key Driver 1.3)</i>
Prosperous People (Adult)	Promoting planning advice that is subject to an inclusive approach of public engagement and consultation gives the opportunity for interested parties to shape and take ownership of policy and advice that guides development in Aberdeen. The consideration of residential development opportunities along lanes within the city centre and in part of the Albyn Place / Rubislaw Conservation Area should provide further residential choice in locations that are closest to the greatest concentration of amenities and facilities in Aberdeen. Increasing the residential population of these identified areas increases the urban density and positive intensity of the city as the heart of a wider city region. <i>(Key Driver 7.1)</i>
Prosperous Place	The advice promotes sympathetic forms of development in suitable locations to support an attractive city where development opportunities are capitalised upon for the benefit of the city. <i>(Key Driver 14.1)</i>

Design Principles of Target Operating Model	
	Impact of Report
Customer Service Design	The process of creating approved planning advice involves engagement and consultation with interested parties in order that they influence, shape and have ownership of material considerations that direct development in the city. This advice provides front-loaded technical considerations at an early stage in the development process when expenditure is relatively low, and the considerations of the Local Authority are known in order to plan for high quality development.
Organisational Design	Local Technical Advice follows a rigorous internal collaborative process with colleagues from teams across the Strategic Place Planning Service in order to reach a consensus prior to proceeding to Committee and seeking interested party involvement to shape the outcome.
Governance	The creation of Technical Advice is governed through the Council's Committee Reporting Procedure.
Workforce	Approved planning advice is developed and taken forward by an in-house multi-disciplinary team in order to best utilise the in-house skills available.
Process Design	Approved planning advice is generated as a specific response to an identified trend in change of use in certain parts of the city centre and inner city, as well as the potential to be realised in parts of the Albyn Place / Rubislaw Conservation Area and new masterplanned sites.
Technology	Approved planning advice is available as an on-line and hard copy resource to any interested party involved in shaping development proposals in Aberdeen.
Partnerships and Alliances	Approved Technical Advice follows engagement and consultation with external interested parties including formally constituted groups in order that everyone interested shapes and can take ownership of the outcome.

8. IMPACT ASSESSMENTS

Assessment	Outcome
Equality & Human Rights Impact Assessment	The EHRIA to the Draft TAN concludes a neutral impact on protected groups. Creating this Technical Advice Note has been inclusive inviting involvement from interested parties to influence and shape its design-led content and direction.
Data Protection Impact Assessment	Not required
Duty of Due Regard / Fairer Scotland Duty	Not applicable

9. BACKGROUND PAPERS

9.1. Aberdeen Local Development Plan 2017:

https://www.aberdeencity.gov.uk/sites/default/files/LDP_WS_20170328.pdf

- 9.2 Planning and Development Management Committee 19 September 2019
Report 19/305 'Development Along Lanes' draft Local Planning Policy.
http://councilcommittees.acc.gov.uk/documents/s102749/Committee%20Report%20PLA_19_305%20-%20Development%20Along%20Lanes.pdf
- 9.3 Proposed Aberdeen Local Development Plan 2020
<https://committees.aberdeencity.gov.uk/documents/s107795/Appendix%201%20-%20Proposed%20Local%20Development%20Plan.pdf>

10. APPENDICES

- 10.1. Appendix 1 – Consultation Comments and Responses
- 10.2. Appendix 2 – Technical Advice Note: Development Along Lanes
- 10.3. Appendix 3 – Mapped Area covered by the Technical Advice Note

11. REPORT AUTHOR CONTACT DETAILS

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Appendix 1 – PLA/20/063 Technical Advice Note (TAN) Development Along Lanes		
<i>Summary of responses and issues arising from public consultation held from Monday 11 November 2019 to Monday 9 December 2019</i>		
<i>Key issue</i>	<i>Officers Response</i>	<i>Action as a result of Representation</i>
1. Old Aberdeen Community Council		
While the principle of the proposed policy is reasonable, we do have concerns that this Policy can be used to over-ride the Supplementary Guidance: 'The Sub-Division and Redevelopment of Residential Curtilages' and also SG: 'Householder Development Guide' which presently provide robust guidance on rights to privacy, garden space, daylight and sunlight.	<p>All Supplementary Guidance (SG) is written as guidance encouraging the creation of high-quality design solutions, and this draft policy takes further steps to provide the parameters for quality development along lanes. Supplementary Guidance: The Sub-Division and Redevelopment of Residential Curtilages states that "Guidance is given to ensure curtilage splits and re-development proposals, when appropriate, will have a positive impact on the street-scene and surrounding area."</p> <p>The Draft TAN 'Development Along Lanes' supports the relevant SG's and goes further in the level of detail provided in order to provide parameters for appropriate design-led solutions in appropriate contexts. The 18-metre window to window distance, which is a typical suburban 'rule of thumb' is used with 'should' rather than a 'must'. Within the SG on Householder Development, the general principle of 'no more than 50% of the front or rear curtilage shall be covered by development', provides another benchmark design parameter to be used in evaluating a proposal as guidance only.</p>	No revision required.
Para 2.3.3 proposes that "around 12m" is sufficient distance between windows in the main building and the mews redevelopment; however, 'SG The Sub-Division and	The noted SG states that there 'should be' 18 metre window to window distance of habitable rooms for a typically suburban layout. Within the city centre there are a great many places where such window to window distance is	No revision required.

<p>Redevelopment of Residential Curtilages' para 3.4 calls for a minimum of 18m.</p>	<p>considerably less and where window size, design and position are to afford necessary privacy, daylight, sunlight, natural surveillance and a sense of community and place. The Draft TAN offers some flexibility in window to window distances and points to window design, landscape design etc as fundamentals.</p>	
<p>The Draft Policy does not consider the reduction of private garden that may occur with the creation of a mews residence;- reference para 3.1 of SG 'The Sub-Division and Redevelopment of Residential Curtilages' which states: "As a general guide, no more than a third of the total site area for each individual curtilage should be built upon".</p>	<p>The Draft TAN is for existing feus within the defined area (see Committee Report Appendix 3) and for new masterplanned sites where the place hierarchy will be planned for in order to appropriately accommodate this type of development as part of a broader mix of dwelling types contributing to sustainable communities and a positive sense of place. The consideration of a 'third' is a 'general guide' and each proposal to be assessed on its own merits within wide planning considerations. The suggestion of courtyard design, communal space, window distance etc all need to be factored in to determine development quality.</p>	<p>No revision required.</p>
<p>The Draft Policy has nothing to say about the importance of maintaining green space.</p>	<p>The Draft TAN is not advocating development on recognised 'greenspace' and would operate largely within the Bon Accord area and the defined parts of the Albyn Place and Rubislaw Conservation Area and for new masterplanned sites. All proposals should be assessed on their amenity give as part of the qualitative assessment and the promotion of soft landscaping is included and very much within a fundamental of creating successful places.</p>	<p>No revision required.</p>
<p>While the draft policy is focused on the City's West End, paragraph 1.2.6 leaves the door wide open for this document to be used throughout the city. We suggest that this should be much clearer; either it should cover the whole city or not. In its present configuration, this Policy is bound to become a</p>	<p>The Introduction to the Draft TAN (Section 1. Overview) provides the applicable geography for the document. However, should proposals come forward for a development along a lane elsewhere in the city the Draft TAN would be a benchmark of assessment. Officers have identified that the</p>	<p>No revision required.</p>

<p>contentious issue during planning applications – as has been found with other SGs or TANs that were developed to address the needs of the city centre.</p>	<p>most likely places to see development along lanes are within the Bon Accord area of the city centre and eastern parts of the Albyn Place and Rubislaw Conservation Area, as well as new masterplanned areas. This, however, does not preclude opportunities elsewhere that can follow the parameters in the draft and offer an appropriate context specific response. The map of the proposed geographical area will be appended to the document if approved by Planning Development Management Committee.</p>	
<p>If this Policy has been raised to address the specific issues arising in the West End, this should be clarified in the title and the specific area should be delineated, either by means of a map, or as a list of streets. If it is to apply to all the city, then specific reference to the West End is inappropriate other than within the context of providing examples.</p>	<p>Response as above. The map is to be appended to the document if the Draft TAN is approved by the Council's Planning Development Management Committee.</p>	<p>Mapped area provided.</p>
<p>The implications on waste storage resulting from sub-division of a terraced property between main building and mews building has not been considered. In this scenario, it is unlikely that the occupants of the main building will be able to deploy their wheelie-bins to the back lane, therefore bins will end up stored at the front, or on the pavement where there is no front garden space. This will have a serious negative impact on the visual presentation of the street and could be even worse if the main building has been subdivided into flats, thus resulting in multiple bins of each category.</p>	<p>Waste storage and collection is a fundamental design consideration. In the recently approved planning applications for development along Bon Accord Crescent, the design solutions have considered communal waste collection points integral to a comprehensive approach to feu redevelopment which is reliant on collection from the lane. In certain urban locations on-street communal waste collection facilities/'eurobins' are used to remove the need for individual wheelie bins per property, and with a significant increase in recyclable collection across the city. Indeed, a consideration of amenity, and not exhaustive, includes external and internal amenity space, including storage.</p>	<p>Commentary on waste collection provided.</p>
<p>Paragraph 1.4.2 makes little sense. Sentence(s) should be re-written for greater clarity.</p>	<p>Noted, the text revised to read - <i>'Today there is a greater understanding and appreciation that the complete form</i></p>	<p>Text clarified.</p>

	<i>of an historic development within its feu, and the social order reflected through architecture and craftsmanship, is just as important as the retention and preservation of the front elevation. Any addition to and beyond the original building envelope must be thoughtfully proposed to enhance the building and the feu as an entity.'</i>	
The term 'angled windows' in para 2.3.2 needs defining	The term 'angled window' is a window set at an angle to the façade in order not to compromise privacy and amenity of an adjoining or nearby property.	Explanation of what is meant by 'angled-windows' provided in revised text.
To maintain consistency, the phraseology of para. 2.4.4; "Proposals along unadopted lanes are unlikely to be adopted", should be repeated in Part 3.q, in place of "... less likelihood...".	Noted, the text revised to read – <i>'Proposals along a lane adopted by Aberdeen City Council, meaning that the lane is maintained by the Council to an acceptable standard which offer direct unhindered access for waste collection etc. are preferred, otherwise the proposal will need to meet the waste management travel distances. In addition, if a lane is unadopted by the Council, its surface condition, lighting levels and uncontrolled parking, as well as the uses along its length, will have a fundamental bearing on the quality of the environment for residential use. Proposals along unadopted lanes are therefore unlikely to be supported.'</i>	Text revised for consistency.
2. Dr W.A. Brogden, Architectural Historian, Author & Academic		
'Approve of your draft document and can only commend it.'	Comment noted and welcomed.	No action required.
3. Historic Environment Scotland		
We welcome the preparation of this policy on development along lanes and consider it clearly sets out the Council's	Comments noted and welcomed.	Section 1.4.4 revised to state the 'Historic

<p>approach for residential mews buildings in the areas that it covers. We also welcome the aspiration for design solutions to be improved in light of the issues identified in Section 1.4.1 of the document. Overall, the approaches set out in terms of guidance for applicants and decision-makers alike should aid in delivering development that is sensitive to its place and adds to the character of these areas.</p>		<p>Environment Policy for Scotland’.</p>
<p>Simply as a point of clarification, in Section 1.4.4 there is reference to “Historic Environment Scotland’s Historic Environment Policy (HEPS)” whereas this should be referred to as the Historic Environment Policy for Scotland. While this policy statement was published by Historic Environment Scotland it belongs to everyone. It therefore covers all those making decisions that could affect the historic environment and sits alongside Scottish Government national policies for addressing land use matters and decisions.</p>	<p>Comment noted and welcomed.</p>	<p>Section 1.4.4 revised to state the 'Historic Environment Policy for Scotland’.</p>
<p>4. Scottish Water</p>		
<p>Developers would be advised to submit Pre-Development Enquiries at their earliest convenience to Scottish Water to permit an accurate assessment of our current ability to service proposed sites. Pre and post development flows and other factors (such as the use of pumping stations) will determine existing capacity within both the immediate water and wastewater networks in particular. Water and Drainage Impact Assessments may be needed for some or all of the sites above. Where network mitigation is identified following these assessments, upgrade works must be funded and carried out by developers. Scottish Water can contribute to upgrade works via Reasonable Cost Contributions. However, it should be noted that in some cases where</p>	<p>Comments noted and welcomed</p>	<p>Text revised to encourage engagement with Scottish Water at an early stage in the development process.</p> <p>Text revised to note that surface water and sewerage must be separated in new development in any context.</p>

<p>significant upgrades are identified, all costs may not be fully recoverable. In addition to the above and for the Development along the Lanes document, it should be noted that Scottish Water may need access to service the sewerage system draining the proposed developments. It is likely that the sewer for older properties will be combined (foul/surface water) and that the portion of surface water should be removed from the sewerage system as part of the development process.</p>		
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TECHNICAL ADVICE NOTE:

Development Along Lanes





Bon Accord Lane – new mews building under construction

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Part 1 – Introduction and Context

1. Overview

This document provides parameters for development along established lanes within the **City Centre**, part of the **Albyn Place / Rubislaw Conservation area**, and for new development along lanes in **new masterplanned areas (refer to map at Appendix 1)**. The advice encourages the creation of residential mews buildings in specific areas, although the forms of development advocated may also be appropriate for a range of other uses, if in accordance with the Aberdeen Local Development Plan.



Bon Accord Crescent properties on the open market

1.1 Definition of a Lane

A lane is a narrow-shared surface road or vehicular passageway with well-defined boundaries on opposing sides, usually formed by high walls, hedges or fences.

A lane's built characteristics are its relative narrowness, its shared surface, its ability to accommodate a vehicle's width and its well-defined edges. In order to redevelop along a lane, or to design a new one, reflecting these basic characteristics in design solutions is crucial to creating or maintaining a positive sense of place.

1.2 Planning for Diversity in City Living

1.2.1 The recent supply of 21st century purpose-built office accommodation within Aberdeen is driving an increase in historic property in the city centre, inner city and West End, originally built for residential use but later converted for office accommodation, coming onto the open market. As part of this context of change and adaption, a policy direction on the sympathetic remodelling of these buildings, their curtilage and feus is necessary in order to propose new high-quality development in these valued locations.

1.2.2 Close proximity to shops and local services, coupled with a strong architectural legacy, means that the city centre and its surrounding areas present attractive sustainable opportunities for quality residential redevelopment. Increasing the residential population by providing a greater dwelling choice in a safe well-connected environment should appeal to a wide spectrum of people and support greater diversity and urban intensity of the city centre. This trend comes at a time where Aberdeen City Council is enabling the recommendations of the City Centre Masterplan and investing in the amenities and place quality of the city centre as the premier destination for the City Region.

- 1.2.3** The transition from office to residential use is a growing trend within the Bon Accord Crescent / Crown Street Conservation Area in the city centre. The trend is likely to reach into the core of the Albyn Place / Rubislaw Conservation Area, the “West End Office Area” within the Aberdeen Local Development Plan 2017 (Policy B3). In this area high profile businesses continue to benefit from high quality granite frontages giving prestige kerb appeal coupled with the attractiveness of planned townscapes, accessibility and proximity to the city centre.
- 1.2.4** As demands and uses change and more historic properties become available, the forms of development proposed, and the quality of amenity they provide, should support the objectives of high-quality residential property within the designated area. Sites in areas out-with the area covered by this document are not precluded and will be subject to evaluation based upon on their merits.
- 1.2.5** The parameters provided in this advice are also applicable to development along new lanes within masterplanned areas where lane characteristics should form part of a well-designed hierarchy of a place and movement network, and where a greater range of different dwelling types provides choice and improves whole-life options for the creation of sustainable communities.



Bon Accord Crescent Lane boundaries removed to accommodate car parking



Extract from Parson Gordon's Map of Aberdeen 1634 showing lanes and mews off the Gallowgate area (National Library of Scotland)

- 1.3.1** Lanes have always been part of the urban development of Aberdeen as a necessary means of servicing a larger planned network and their use can be traced back to medieval times. In the Georgian period the planned urban environment was organised to reflect social hierarchies with people and uses segregated according to social class and use hierarchy. Historically, the grandest of properties would have the lane at the rear of the feu edged with a mews building, being two-storey and accommodating carriages, horses, general storage and sometimes with living accommodation above. Today there are remnants of mews buildings along Bon Accord Crescent Lane, Albyn Lane and Queens Lane North and South, however many have been lost to the demands of in-curtilage car parking. By the time the greater part of the West End was complete mews buildings were no longer required for their original purpose.
- 1.3.2** In the second half of the 20th century some retained mews buildings were adapted as dwellings, and others demolished to make way for car parking which intensified vehicular movement along the lane. In addition, the primary building on the feu was typically converted to office accommodation or subdivided into smaller dwellings.

1.3.3 Mews buildings today, either as a reworked existing, or new building, remain as an appropriate form of small-scale development both within historic and newly planned areas. They offer the opportunity to have an attractive home close to amenities and whose form, of relatively small-scale living, gives an attractive contrast and diversity to the surrounding properties. When grouped together should foster a strong sense of community.



Calton Terrace Mews, Edinburgh, where the collection of mews around a shared central green gives the impression of a distinctive place and community

1.4 Development in Conservation Areas and Historic Properties

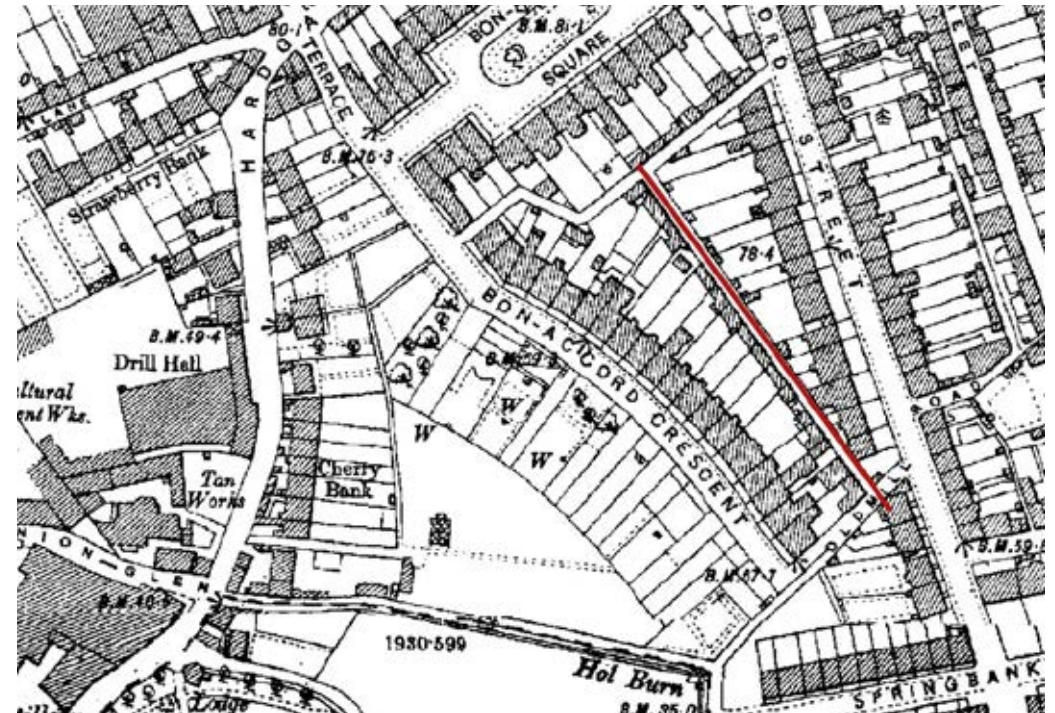
- 1.4.1** For some time the accepted approach to maximising floor areas within an historic building, curtilage or conservation area has been to extend a property to the side and/or rear with some demarcation between the old and new building fabric. Unfortunately, this approach has resulted in additions which have often been intrusive to the rear elevation, which not only impact upon the building's fabric but also its architectural worth and its setting. This approach was developed at a time when the front elevation, as usually the most architecturally worked elevation, was regarded as significantly more important than the other elevations, which are often of a lesser architectural design quality and craftsmanship.
- 1.4.2** Today there is a greater understanding and appreciation that the complete form of an historic development within its feu, and the social order reflected through architecture and craftsmanship, is just as important as the retention and preservation of the front elevation. Any addition to and beyond the original building envelope must be thoughtfully proposed to enhance the building and the feu as an entity.
- 1.4.3** To check the footprint of historic development the National Library of Scotland provides free on-line images of historic maps in addition to Aberdeen City Council's Local Studies and Archives. The Historic Environment Policy for Scotland (HEPS) 1 provides non-statutory policy in understanding, recognising, and working within the historic built environment.

1.4.4 Retaining the existing built fabric and promoting new mews buildings is a way of introducing a sympathetic form of redevelopment. The form should be a responsive contemporary design to the built environment and allow existing properties to appear as originally built by reducing pressure to extend their original building envelope.

1.4.5 Development along lanes in a mews form is likely to be more suited to residential use, though other uses such as workspaces and small businesses may be acceptable depending upon the existing context and the demands the use would place upon it.



Examples of new mews building as part of the comprehensive redevelopment of 15 Bon Accord Crescent (Courtesy of Neil Rothnie Architects)



Historic map of Bon Accord Crescent as built with mews buildings along the rear lane

Part 2 - Advice For Developing Along Lanes

The following steps should be taken when scoping the likelihood for development along a lane as part of a comprehensive redevelopment within a feu:

2.1 Step 1 – Find out what was there before

2.1.1 A useful exercise when exploring options for redevelopment in any historic built environment is to determine the footprint, form and use of what had previously been there. The results will often give direction to what could be an appropriate form of new development. This exercise is not intended to limit redevelopment by a comparison to historic footprints but should be considered a starting point for new forms of development and wider place connectivity. If no indication of previous development can be found, it doesn't preclude development proposals being brought forward in accordance with the following steps.

2.2 Step 2 – Recording and Evaluating the Context

2.2.1 Quality development is as a result of an informed approach to design and site capacity by a thorough understanding of the context by everyone involved in the development process.

2.2.2 The current uses of the lane, the building heights and materials provide a fundamental basis to start to inform design development proposals and the context evaluation provides the content for a Design and Access Statement (see Scottish Government's Planning Advice Note 68 – Design Statements) which explains to any interested party the design approach to support a planning application.

2.3 Step 3 - Window to Window Distances

2.3.1 As part of the evaluation of context, the window to window distance between habitable rooms for new development is important and windows must be placed where they do not impose on neighbouring property.

2.3.2 Lanes present a creative challenge to provide internal layouts that do not compromise the amenity and privacy enjoyed by residents in nearby property. Mews should be a viable form of development that enlivens a lane with visual interest, has opportunities for natural surveillance and provides a strong demarcation of public and private space. Only in exceptional circumstances will angled windows, being a window set at an angle to the façade in order not to compromise privacy and amenity of an adjoining or nearby property, and limited in number, be considered as an acceptable design solution.

2.3.3 There is considerable variety in the range of widths between the window to window distance of habitable rooms to the properties along the streets and lanes in the city centre, ranging from 4-6 metres. A comfortable window to window distance of habitable rooms for privacy within the feu between the main building and its mews should be around 12 metres, however each proposal must be assessed on its specific context and intended room use.

2.3.4 Lanes are by definition relatively narrow and the placement of windows to habitable rooms on the boundary of a lane must be made in consideration of the existing context. Daylight and sunlight receipt as well as overlooking and overshadowing which will also have a material bearing on window displacement which must inform development proposals.



Historic mews in Stockbridge Edinburgh converted into attractive dwellings with minimal setback enabling some soft landscaping to enliven the lane

2.4 Step 4 – Amenity Value

2.4.1 A high level of amenity is necessary for the creation of sustainable quality development and the standard of amenity can be measured by a broad range of considerations. The proximity to existing long-term services in the area including public transport, open space and commercial centres as well as internal space provision and the quality and amount of external space associated within any development are typical considerations. The architectural quality of development is also regarded as having a strong amenity value because it will add to the visual placemaking qualities and townscape aspects of the site and wider area.

2.4.2 An assessment of the qualities of the lane as a suitable residential environment need to be made, in addition to the provision of appropriate private and/or communal amenity space. The inclusion of floor to ceiling windows with balconies and ground floor private patio space, as part of a larger communal amenity space incorporating a drying green are key external amenities too. Properties with good internal floor areas and with potential for internal storage are also considered as benchmarks of amenity. Amenity such as aspect and daylight must not be borrowed from an adjacent property.

2.4.3 Trees have a vital role in quality placemaking. Tree retention and/or planting significantly contributes to the identity and feel of a place, enhancing the sense of scale, framing views of surrounding buildings and adding seasonal colour and interest. In addition to providing habitat connectivity for wildlife, trees make a significant contribution to sustainable integrated infrastructure, promote value and worth and add resilience to climate change adaptation as well as human health and wellbeing. To ensure we protect our green infrastructure, consideration should be given as to how existing trees, hedges and shrubs can be incorporated into development.

2.4.4 Proposals along a lane adopted by Aberdeen City Council, meaning that the lane is maintained by the Council to an acceptable standard which offer direct unhindered access for waste collection etc. are preferred, otherwise the proposal will need to meet the waste management travel distances. In addition, if a lane is unadopted by the Council, its surface condition, lighting levels and uncontrolled parking, as well as the uses along its length, will have a fundamental bearing on the quality of the environment for residential use. Proposals along unadopted lanes are therefore unlikely to be supported.



Original mews buildings on Bon Accord Crescent Lane

2.5 Step 5 – How Accessible is the Proposed Site?

2.5.1 City Centre and Albyn Place / Rubislaw Conservation Area (part)

On sites within the city centre in-curtilage parking is discouraged in order to achieve more sustainable modes of travel. This would not preclude the inclusion of car parking in some circumstances, but any need would be assessed against the quality of the environment of the lane, the proposal as a whole and the need for any car club provision in the locality which could provide a communal transport resource.

2.5.2 Within the city centre vehicle speed is limited to 20 miles per hour and as the transition of offices to residential use continues the vehicular activity along lanes should reduce as a cumulative result. The narrow width and often winding form of lanes should also mean that they naturally function as shared use areas where no footway delineation is necessary however, some refuge will be required in the form of pends or access locations.

2.5.3 Masterplan Zones – Sites within the Aberdeen Local Development Plan’s Masterplan Zones should consider in-curtilage car parking in the form of garaging integral to a mews development and with the garaging serving no more than the residence above in order that residential amenity is not compromised. The provision of garaging that serves nearby property will require robust justification.



Residential mews buildings along Albyn Place Lane

2.6 Step 6 – Form of Development

- 2.6.1** Mews buildings offer a form of development that is small in scale but offers large possibilities for the introduction of high-quality new dwellings, and other uses. Mews can also introduce new materials and contemporary architecture to complement existing historic contexts.
- 2.6.2** When designing a new lane the defined characteristics must prevail: relative narrowness; the lack of a footway because of a shared surface carriageway; and with well-defined boundaries on opposing sides usually formed by high walls, hedges or fences. Within an existing lane the proposal should reinforce the characteristics of a lane even if they have been previously eroded. For new masterplanned areas the boundaries should only be formed with high walls, which may be a building, and/or with hedges of species that have blossom and berries, being suitable for pollinators, in order that attractive and sustainable places are created.



Original mews building on Bon Accord Cres Lane



Original mews building on Gordon Street

Part 3 – Design Checklist

The following steps should be taken when developing proposals for a mews development along a lane:

3.1 New mews development along a lane **should:**

- a. Look to historic context in terms of footprint, orientation, walls, entrances and any other features, as well as referencing any previous building footprint.
- b. Form a strong boundary to the edge of the lane to maintain the sense of enclosure and define the curtilage.
- c. Have regard to solar orientation to design-in and maximise passive solar gain.
- d. Ensure, where trees are within the site, or within 15 metres of the site boundary, a tree survey and arboricultural impact assessment will take out text compliant to construction be required. **(See Supplementary Guidance: Trees & Woodlands for further information).**
- e. Recognise that trees form a crucial role within new development and, in order to plan for longevity, the site constraints must be known so that an appropriate tree species is selected to provide environmental, practical and aesthetic benefit as well as avoiding over-shadowing and significant maintenance implications.
- f. Respect the built environment context by incorporating existing original boundary walls where they exist and reinstating or reinterpreting them through new development where they have been lost.
- g. Not prejudice the amenity or servicing of adjacent property.
- h. Be built across the entire feu width, or most of the feu width to maintain the sense of enclosure of the lane.

- i. Be no more than two domestic stories in height and be equal to or less than 5.6 metres to the ridge line of the roof from the ground floor level in order to maintain a traditional domestic height and scale.
- j. Be no deeper than 7 metres in order to maintain a relatively narrow footprint in keeping with a traditional mews.
- k. Have a ground floor public elevation with a robust appearance, with appropriate materials, to reinforce the sense of enclosure of a lane with a defensible edge to the property.
- l. Have a clearly defined and secure pedestrian access to/through the mews to a private courtyard area.
- m. Provide an attractive level of external low maintenance hard and soft landscaped amenity space incorporating a drying green / courtyard, both private and communal, to the property and not prejudice, compromise or borrow amenity from neighbouring property.
- n. Be capable of fulfilling necessary daylight and sunlight needs to habitable rooms in accordance with British Research Establishment (BRE) standards.
- o. Consider the practical supply and servicing of any site including water and sewerage provision as well as bicycle storage.
- p. Consult with the Council's Waste Management Team as it is important to determine the anticipated capacity and form waste management should take for any development proposal as appropriate storage, management and collection are a necessary part of development quality.
- q. Be sited off a lane that is adopted by Aberdeen City Council in order that the quality of the urban realm, including street lighting and refuse collection, is of an acceptable standard for accessibility and that the environment is controlled. Proposals along unadopted lanes are therefore unlikely to be supported.

- r. Have an upper floor of a stepped or canted form to reduce any potential over-bearing to the lane and to allow for architectural expression, depending upon the construction materials used.
- s. Provide for natural surveillance across the lane without compromising the privacy of habitable rooms in nearby residential property, and for sight-line analysis to be provided in the any Design and Access Statement.

4. Pre-Application Enquiry

4.1 This advice provides parameters enabling proposals for development along lanes to be worked to a level where pre-application advice can be provided at an early stage in the development process. The pre-application process will use this and other policy and material considerations pertinent to the site to provide an initial assessment and to allow for further reflection and any refinement suggested prior to submitting a planning application.

4.2 Scottish Water offer pre-development enquiries at www.scottishwater.co.uk to allow an accurate assessment of their ability to serve proposed sites. It is likely that old sewers will be combined foul & surface water and that the portion of surface water should be removed from the sewerage system as part of the development process. The developer's works must conform to Scottish Water's standards in 'Water for Scotland' and 'Sewers for Scotland'.



Original news building in Gordon Street now converted into a home as part of an entire feu redevelopment.

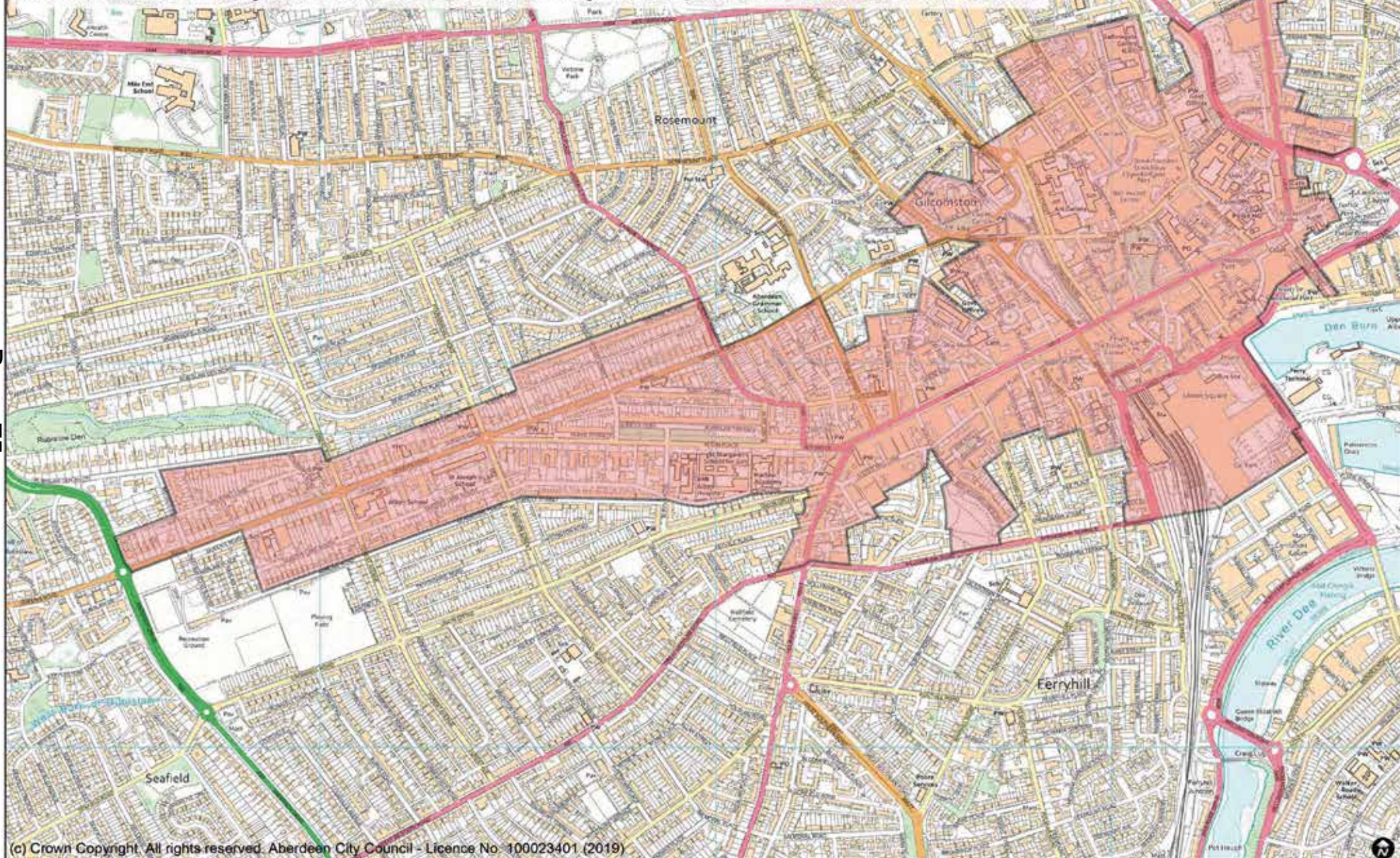
5. Contact Details

For all enquiries please contact us on:

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Aberdeen AB10 1AB
Tel 01224 523470

TAN: Development Along Lanes

Identified Area: City Centre and Part of the Albyn Place/Rubislaw Conservation Area



Page 75

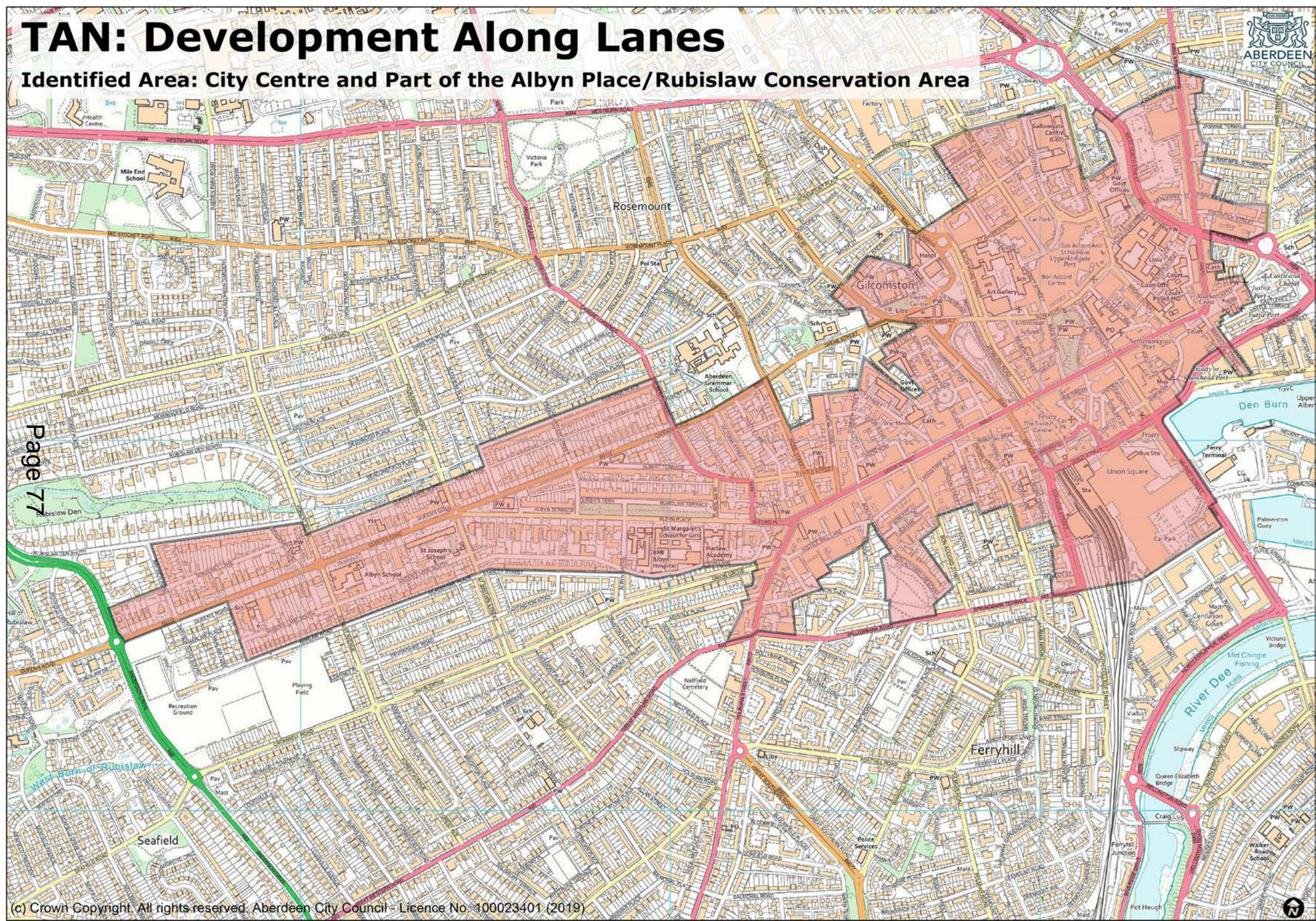


Strategic Place Planning, Marischal College, Business Hub 4,
Ground Floor North, Broad Street, Aberdeen AB10 1AB



TAN: Development Along Lanes

Identified Area: City Centre and Part of the Albyn Place/Rubislaw Conservation Area



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ABERDEEN CITY COUNCIL

COMMITTEE	Planning Development Management
DATE	19 March 2020
EXEMPT	No
CONFIDENTIAL	No
REPORT TITLE	Technical Advice Note: Materials
REPORT NUMBER	PLA/20/046
DIRECTOR	
CHIEF OFFICER	Gale Beattie
REPORT AUTHORS	Alex Ferguson & Rebecca Kerr
TERMS OF REFERENCE	5) Adopt non-statutory planning management guidance

1 PURPOSE OF REPORT

- 1.1 To seek approval to adopt the content of a new Technical Advice Note (TAN) entitled 'Materials: External building materials and their use in Aberdeen'.

2 RECOMMENDATION(S)

That the Committee:

- 2.1 To note the content of the consultation responses on the Technical Advice Note 'Materials: External building materials and their use in Aberdeen' document, approved for public consultation by the Planning and Development Management Committee on 19 September 2019; and subsequent revisions proposed by Officers to the Draft document (refer Appendix 1).
- 2.2 Approve the Technical Advice Note 'Materials: External building materials and their use in Aberdeen' (Appendix 2) as planning advice in the determination of relevant planning applications.

3 BACKGROUND

- 3.1 The Draft Technical Advice Note (TAN) on 'Materials' was reported to the 19 September 2019 Planning and Development Management Committee meeting

(Report Number: PLA/19/306). Members approved a minimum 4-week period of public consultation exercise and for Officers to report the findings of the public consultation back to this Committee within 6 months. This is the subject of this Report.

- 3.2 The Materials TAN provides technical guidance on a selection of different materials that could be used in the external walls and roofs of new buildings across the city.
- 3.3 The document has been prepared in the context of Aberdeen Local Development Plan (2017) Policy D1 – Quality Placemaking by Design, which states that all development must ensure high standards of design and have a strong and distinctive sense of place.
- 3.4 The Aberdeen Local Development Plan 2017 is supported by statutory Supplementary Guidance (SGs) and non-statutory advice such as Technical Advice Notes (TANs) and Local Planning Advice (LPA). This document will be progressed as a Technical Advice Note to the adopted Local Development Plan, and at the relevant time be carried forward as Technical Advice Note to the emerging Aberdeen Local Development Plan 2022.

Public Consultation – Results

- 3.5 The public consultation on the Draft Materials TAN ran for a period of 4 weeks from Monday 11 November 2019 to Monday 9 December 2019. The document was made available and publicised during the consultation period by the following methods:
 - Publication of document on Aberdeen City Council ‘Consultation Hub’ <https://consultation.aberdeencity.gov.uk/>
 - Hard copy of Draft document available for review at Marischal College, between 9am and 5pm Monday to Friday, and in the Aberdeen Central library during its normal opening hours.
 - Press release issued on the Council’s website advertising the consultation period, including how to view and comment on the Draft document. And social media post on the Council’s Facebook page the week prior to the end of the consultation to encourage responses.
 - Press advert placed in the P&J newspaper on Monday 11 November to advertise the consultation period.
 - Notification (email) of the consultation sent to statutory consultees and all Community Councils.
- 3.6 Following the Committee meeting on 19 September 2019 a news story was reported on by the Evening Express on the Draft Materials TAN on 22 September 2019 with the title “Guidance on building materials to protect Aberdeen’s historic buildings” which helped advertise the topic and forthcoming consultation.

- 3.7 A total of 5 responses were received from the Consultation and are recorded alongside the Officer response and recommended actions (See Appendix 1), with full versions of representations viewed upon request. The responses noted that consideration should be given to external building materials susceptibility to vandalism. Concern was also expressed from one respondent over the loss of granite buildings or their replacement with buildings featuring a high proportion of glass. Another respondent expressed concern that a type of pointing called 'cherry caulking' was not mentioned in the document. However, in summary, responses were supportive and complimentary of the content and approach taken by the Draft Materials TAN.
- 3.8 In addition to the above responses, a very positive and informative meeting was held between a local granite merchants and Planning Officers. As a result of this, some of the text within the document has been revised in relation to the use of imported granite.
- 3.9 The timing of the consultation process coincided with 'World Children's Day', and the opportunity for children and young adults to communicate concerns and wishes to decision makers. As part of the Council's awareness raising campaign linked to Child Friendly Cities, the Draft Materials TAN was therefore presented to a panel of young people. We explored young people's understanding of the homes they live in, their architectural style and how the materials around them give us a 'sense of place'. We discussed the importance of external building material choices, as well as physically looking at a range of sample materials to discuss what young children liked and what they would build their houses from. This engagement exercise highlighted the importance of granite to Aberdeen's sense of place, and the blandness of some modern materials such as renders. Young children liked the idea of introducing green walls into buildings in the future, as well as colour, whether through interesting use of timber cladding or the softer colours of natural stone.
- 3.10 The Materials TAN will be reviewed in line with Proposed Aberdeen Local Development Plan 2020 processes.

Strategic Environmental Assessment

- 3.11 A SEA assessment was required as the proposed guidance falls within the 'sets the framework for future development consent of projects' remit. The Pre-Screening notification was submitted to SEA Gateway and the Consultation Authorities which determined that neither a SEA nor SEA Screening was required as the plan was unlikely to have any significant environmental consequences. It could be considered that the Draft Materials TAN has an indirect but positive impact on the environment by promoting and ensuring adequate consideration of the sustainability and life-cycle of materials.

4 FINANCIAL IMPLICATIONS

- 4.1 There are no financial implications arising from approval of this report.
- 4.2 As a major landowner in the city, proposals for the development of land and assets owned by Aberdeen City Council will, where this is applicable, be subject

to assessment in line with the principles and standards set out in the Technical Advice Note.

5 LEGAL IMPLICATIONS

5.1 There are no legal implications arising from approval of this report.

6 MANAGEMENT OF RISK

Category	Risk	Low (L) Medium (M) High (H)	Mitigation
Financial	None	N/A	N/A
Legal	None	N/A	N/A
Employee	By not providing this technical advice, Officers could provide inconsistent advice by not having a known consensus approach. This could result in longer timescales to manage and process planning applications.	L	Agreeing the content of the Draft Technical Advice Note will encourage an informed approach to the selection of appropriate materials in advance of planning applications being submitted. This will further enable consistency of site-specific advice to individual proposals.
Customer	Not providing technical advice could mean the Customer is open to developing proposals that may not be appropriate to the location.	L	Technical advice will provide greater clarity, consistency and certainty in the topic area of 'materials'.
Environment	Not providing this advice could result in lost opportunities to protect and enhance our built environment with appropriate material choices, particularly in sensitive, historic environments and in formation of our new communities.	M	Technical advice is prepared in order to give direction to specific aspects of development, and as a material consideration in the evaluation of development proposals. The Draft advice has been subject to the Strategic Environmental Assessment screening processes.
Technology	None	N/A	N/A
Reputational	Not providing advice opens the possibility	M	Agreeing the advice illustrates the Council's

	of inconsistency and poor-quality decision-making about Aberdeen's identity and sense of place.		approach to development matters to protect and enhance our city through clear and consistent means.
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7 OUTCOMES

Local Outcome Improvement Plan Themes	
	Impact of Report
Prosperous Economy	Technical guidance on the topic of 'Materials' helps to stimulate ideas at the earliest stage of the design process for new developments whilst taking into consideration Aberdeen's distinct sense of place which helps strengthen the identity of Aberdeen to economic investment (Key Driver 1.3).
Prosperous People (Children & Young People)	Public consultation was available to all ages helping to foster inclusive decision making (Key Driver 7.1). Officers actively engaged young people in the Draft Materials TAN as part of World Children's Day.
Prosperous People (Adult)	No direct links however consistent advice on materials helps to foster improved sense of civic pride, and attractive built environments can contribute toward mental well-being.
Prosperous Place	The Draft TAN promotes the use of high-quality and sustainable materials, which considered their life-cycle and climate change adaptability (Key Driver 14.1).

Design Principles of Target Operating Model	
	Impact of Report
Customer Service Design	Consultation included both internal and external stakeholders and was hosted digitally on the Council's 'Consultation Hub'. Public consultation on Council advice documents ensures they are inclusive.
Organisational Design	The Draft TAN was available to view on the Council's website and the outcomes of the public consultation process are now being reported to Committee for transparency. The Draft TAN also took on board comments expressed as part of internal consultation with colleagues from teams across the Strategic Place Planning Service, including hosting a workshop discussion on the topic.
Governance	Technical guidance is governed through the Council's Committee Reporting Procedure to ensure transparency and the consultation process allows the creation of an inclusive document. Guidance will be reviewed alongside future development plan review process.

Workforce	Technical advice allows for a more informed and consistent approach to decision making, saving staff time and is supported by in-house skills on the topic area.
Process Design	This Technical Advice Note has been developed due to the absence of anything existing which sets out general parameters for the selection of external materials.
Technology	Technical Advice Notes are available as an on-line resource to any interested party.
Partnerships and Alliances	Technical Advice would be ultimately approved following engagement and consultation with external interested parties including formally constituted groups.

8 IMPACT ASSESSMENTS

Assessment	Outcome
Equality & Human Rights Impact Assessment	EHRIA completed when the document was presented to Committee initially on 19 September 2019 – the assessment showed a neutral impact on the protected groups. The assessment did raise indirect potential risk to people with visual impairment from the use of glass in building facades; and the Draft TAN has been updated accordingly. The comments received as part of the public consultation did not raise any issues which it was felt a review of the EHRIA was necessary.
Data Protection Impact Assessment	Not required
Duty of Due Regard / Fairer Scotland Duty	Not applicable

9 BACKGROUND PAPERS

- 9.1 Aberdeen Local Development Plan 2017
https://www.aberdeencity.gov.uk/sites/default/files/LDP_WS_20170328.pdf
- 9.2 Proposed Aberdeen Local Development Plan 2020
<https://committees.aberdeencity.gov.uk/documents/s107795/Appendix%201%20-%20Proposed%20Local%20Development%20Plan.pdf>
- 9.3 Planning Development Management Committee Report PLA/19/046:
 Technical Advice Note: Material
<https://committees.aberdeencity.gov.uk/ieListDocuments.aspx?CId=348&MId=6673&Ver=4>

10 APPENDICES

- 10.1 Appendix 1 – Technical Advice Note Materials: External building materials and their use in Aberdeen.
- 10.2 Appendix 2 – Summary of responses and issues arising from public consultation

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Appendix 1 – PLA/19/046 Technical Advice Note (TAN) Materials		
<i>Summary of responses and issues arising from public consultation held from Monday 11 November 2019 to Monday 9 December 2019</i>		
<i>Key issue</i>	<i>Officers Response</i>	<i>Action as a result of Representation</i>
1. Police Scotland		
Consideration could be given to liaison with a Police Scotland Architectural Liaison Officer at the planning stages regarding the susceptible to vandalism or attack of different materials and their inherent risks should they be used in certain parts of the city.	Agreed. Propose additional sentence to Page 5 of Draft Materials TAN to read “Material choices should also take consideration of its susceptibility to vandalism dependent on its location”.	Amend document as per Officer Response.
2. Barratt North Scotland		
Barratt North Scotland welcome the balanced view that the draft TAN has taken in respect of the use of local granite. We support the acknowledgement in the document that whilst some local granite is still available, this “is and (should be) generally used for prestige urban realm projects’.	Comments noted.	No action required.
We agree that ‘careful consideration of the materials, colour and detail’ can ‘allow new places to be created that are easily identifiable as belonging to, or respecting Aberdeen’s local context’.	Comments noted and the appreciation how material choices affect the understanding of Aberdeen’s local context is welcomed.	No action required.
We welcome the Council’s recognition that consideration has to be made for the long-term properties and availability of resources. We welcome the appreciation ‘it has become increasingly difficult and often cost-prohibitive to source new local granite’ and that with advanced in technology and changes in	Comments noted. The Draft Materials TAN recognises Aberdeen’s granite heritage, with the site and surrounding context being of primary importance when selecting material choices.	No action required.

construction, 'stone is no longer a key load-bearing component of walls'.		
The environmental properties of modern materials and their availability is important in ensuring the supply of new housing to meets both local and national sustainability and delivery targets, whilst remaining of a consistently high quality, yet financially viable.	Comments noted. The Draft Materials TAN will help evaluations of future proposals for housing across the city and hopes to offer consistent advice.	No action required.
We agree with the assessment that 'consideration should be given to long term maintenance implications for use of smooth white render', in recent years the weathering properties of this particular material have not proven to be successful in the North East climate.	Comments noted. The Draft Materials TAN references the long-term maintenance implications of smooth white render in respect of our local climate and opens up the discuss of appropriate finishes and tonal colour range to help make decisions in the future.	No action required.
3. Historic Environment Scotland		
Thank you for your consultation which we received on 12 September 2018 about the above development framework. We have reviewed the details in terms of our historic environment interests. This covers world heritage sites, scheduled monuments and their settings, category A-listed buildings and their settings, inventory gardens and designed landscapes, inventory battlefields and historic marine protected areas (HMPAs).	Comments noted.	No action required.
We welcome the preparation of this Technical Advice Note and consider that is clearly sets out the importance of the understanding of context in re-enforcing the character of Aberdeen through the use of materials. We consider that the advice set out within the note regarding different materials and their historical context and contemporary use is sound and is clearly supplemented with examples of good	Complimentary comments noted and acknowledgement of the work undertaken in production of the Draft Materials TAN is welcomed, with the aim of future decision making on material choices taking adequate consideration of Aberdeen's sense of place.	No action required.

practice. Overall, we consider that this advice note should aid in informing and promoting good design that adds to the sense of place in Aberdeen.		
4. Old Aberdeen Community Council		
Document describes a wide range of material options that can be used for the exterior of a building, but there is little actual 'advice'. In fact the short message might be that while for fifty years the Council has resisted the use of alternative materials, such use is now to be actively encouraged!	The Draft Materials TAN discusses a variety of potential material choices and their historical grounding for use in Aberdeen, focussing principally on granite, brick, render, metal, timber, glass and roofing (slate). Each section of the document follows the same format, firstly giving commentary on the historical context, then the contemporary use of the material in Aberdeen, followed by a series of technical considerations centred around detailing and colour. All the information contained is classed as advice to help planning officers, architects and agents develop proposals for new development. It does not seek to be prescriptive about the use of certain physical building materials but advocates a more informed approach to external building materials.	No action proposed.
<u>Other issues</u> Page 7: First paragraph, first sentence is poorly constructed – suggest delete "... the light grey colour of ..." as this is covered in next sentence.	Comment noted and accepted.	Sentence amended.
Page 8: Third paragraph, second sentence; change "could actually dilute ..." to "can actually dilute ...". As it is a simple fact, as imported granite often does not include mica.	Comments noted; however, the suggested wording would not change the overall meaning of this sentence.	No action proposed.
Page 29, Appendix 1: These pictures do not include 'cherry caulking' (galleting), which is a particular feature of older Aberdeen properties. While previous Council documents	Comments noted and appreciated; however, Appendix to the Draft TAN (Notes on Granite Detailing) is intended to give a brief, rather than comprehensive, overview of the	No action proposed.

<p>have provided an illustration of cherry caulking used on ashlar walls (e.g. Conservation Area Character Appraisals and Management Plan - Old Aberdeen, page 29, picture at bottom right), there is also a version used on field-stone walls which uses larger pebbles (photo can be provided). Both types of cherry caulking are at high risk of being lost during re-pointing work.</p>	<p>main types of granite detailing seen across the city. The Old Aberdeen Conservation Area Character Appraisal document will remain a material consideration, with reference to cherry caulking included.</p>	
5. Anonymous Response		
<p>Not sure what the point of this is? planners are happy to pull down granite buildings and replace with bad fakes and too much glass and wood cladding. and build, too high and boring square boxes.</p>	<p>The Draft Materials TAN discusses a variety of potential material choices and their historical grounding for use in Aberdeen, focussing principally on granite, brick, render, metal, timber, glass and roofing (slate).</p> <p>Each planning application is assessed on its own merits, and with regard to demolition of granite buildings is covered under Policy D5 – Our Granite Heritage of the Aberdeen Local Development Plan (ALDP) 2017. This policy seeks the retention and appropriate re-use, conversion and adaptation of all granite features, structures and buildings, including setted streets, granite kerbs and granite boundary walls. Proposals to demolish any granite building must satisfy the relevant Historic Environment Scotland’s demolition tests.</p> <p>In addition, any new development proposal is assessed in accordance with ALDP Policies D1 – Quality Placemaking by Design and D3 – Big Buildings. The Draft Materials TAN is anticipated to supplement these policies and aid the evaluation process. The Draft Materials TAN will also be carried forward to the emerging Aberdeen Local Development Plan 2022.</p>	<p>No action proposed.</p>



Materials

External building materials and their use in Aberdeen

Technical Advice Note
March 2020

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1. Introduction

Aberdeen the ‘**Granite City**’, has a distinctive ‘sense of place’ at its core. The production of local granite is now significantly reduced but by considering the historic use of materials and their properties it is possible to distil the essence of an ‘Aberdeen’ look for our future buildings and places.

The **Aberdeen Local Development Plan 2017** reiterates, at a local level, the importance of quality placemaking through the use of design-focused policies which promote good design and guide decision making. These policies emphasise that the careful selection of appropriate materials in new buildings is a key factor to achieving the qualities of successful places.

This advice provides a benchmark for the **promotion of high-quality external materials** which are appropriate to their context. The advice encourages and challenges designers, developers and homeowners to consider and select external materials for new buildings and extensions that are visually appropriate, sustainable, long lasting, have low-maintenance requirements and that respond to climate change. Materials should also be grounded in the historic design features and characteristics of Aberdeen’s development in order to guide, create and reinforce local distinctiveness through high quality development, rather than produce new places that look like anywhere else.

This advice illustrates a way of looking at our city with a design-led approach to material selection for the 21st century based on an understanding of the historic use of material, colour, texture and detail to shape specifications today. It will be used in the assessment of planning and listed building consent applications with the aim of improving design quality and offering a consistent approach to the way in which materials are considered and used across Aberdeen.

1.1 Context is Crucial

This advice is not designed to be a prescriptive list or technical specification for materials but has been prepared to encourage greater consideration of materials and their detailing to reinforce Aberdeen’s distinctive sense of place. Each development proposal will be considered on its merits and the context of both the immediate and wider area are crucial when developing ideas about material choices, colours and detailing. We encourage all development to consider:

Do the proposed materials, their colour and detailing contribute well to the immediate context and reinforce Aberdeen’s ‘sense of place’?

Union Street: The Granite Mile ▶
Aberdeen’s sense of place is principally derived from the many buildings constructed from locally quarried granite, none more so than those that line Union Street, the city’s main thoroughfare



2. Preserving Aberdeen's Sense of Place

Many of Scotland's towns and cities have their own distinctive 'sense of place' derived principally from their architecture, with strong variations in local characteristics across the country due in no small part to the type of local building materials historically available and how they were put together. In Scotland historically, local stone was the predominant material used for the external walls of buildings and whilst Glasgow and Edinburgh are built mainly from sandstone of varying shades of brown and red, the north-east of Scotland's geological base is granite.

Aberdeen's granite heritage is intrinsically linked to its cultural heritage, giving the city names such as 'The Granite City' or the 'Silver City'. Granite gives our city its local identity and our planning policies seek to protect our built heritage and shape future development.

Whilst some local granite is available it is generally used for prestige urban realm projects. Nonetheless whilst the look of new buildings, and especially new housing, is remarkably unvaried across the country as a result of tested development formulas. This advice illustrates that with careful consideration of materials, colour and detail, new place can be created that respect Aberdeen's local context.

Development should also be suitably equipped to tackle predicted climate change, offering solutions that are sustainable, energy/resource efficient and aid carbon emission reduction.

The elements of substance that give developments their visual characteristics and distinctiveness can root people in the area they live, creating a greater sense of individuality and belonging, often in subtle ways. The historical origins of materials, their colour, texture, practical and aesthetic relationships in Aberdeen should inform how materials should be used today.

In order to respect, complement and enhance the surrounding townscape and Aberdeen's local distinctiveness, new development must select materials which will provide a successful design solution. This guidance has focused on analysing a selection of more traditional materials and their contribution to Aberdeen's sense of place: granite, render, brick, timber, glass, metal and roofing (including green and renewable technologies).

It is understood however, that there are a wide range of materials available on the market today and this guidance does not preclude the use of any other material where this can be used to good effect. There are also innovative examples such as green roofs/walls, unusual colours and textures of cladding which offer creative design responses to their context.

Union Street – Aberdeen's Granite Mile



Regardless of the material chosen, there are several aspects involved in the selection and implementation of a material which are important. These include more aesthetic qualities of **colour, texture, module size, detailing, jointing, finish**, as well as the evaluation of **contrasting or complementary** approaches to design, and **practical environmental and technical considerations**. The construction and detailing of materials will need to respond to predicted warmer, wetter, winters and hotter, drier, summers and opportunities to enhance green infrastructure and energy efficiency must be taken into account. Materials should also be informed by the building orientation and siting, taking consideration of aspect, exposure and solar gain. Material choices should also take consideration of susceptibility to vandalism dependent on the location used.

This advice advocates a *more informed approach to the use of appropriate materials* and seeks to ensure that the external finishes of new buildings in Aberdeen have been chosen carefully so they:

- are appropriate for both their city-wide and localised (streetscape) context,
- respect the city's heritage and contribute toward Aberdeen's distinctive 'sense of place', and
- take into consideration the whole life-cycle and sustainability of materials, including re-use.
- consider how the chosen materials respond to future climate



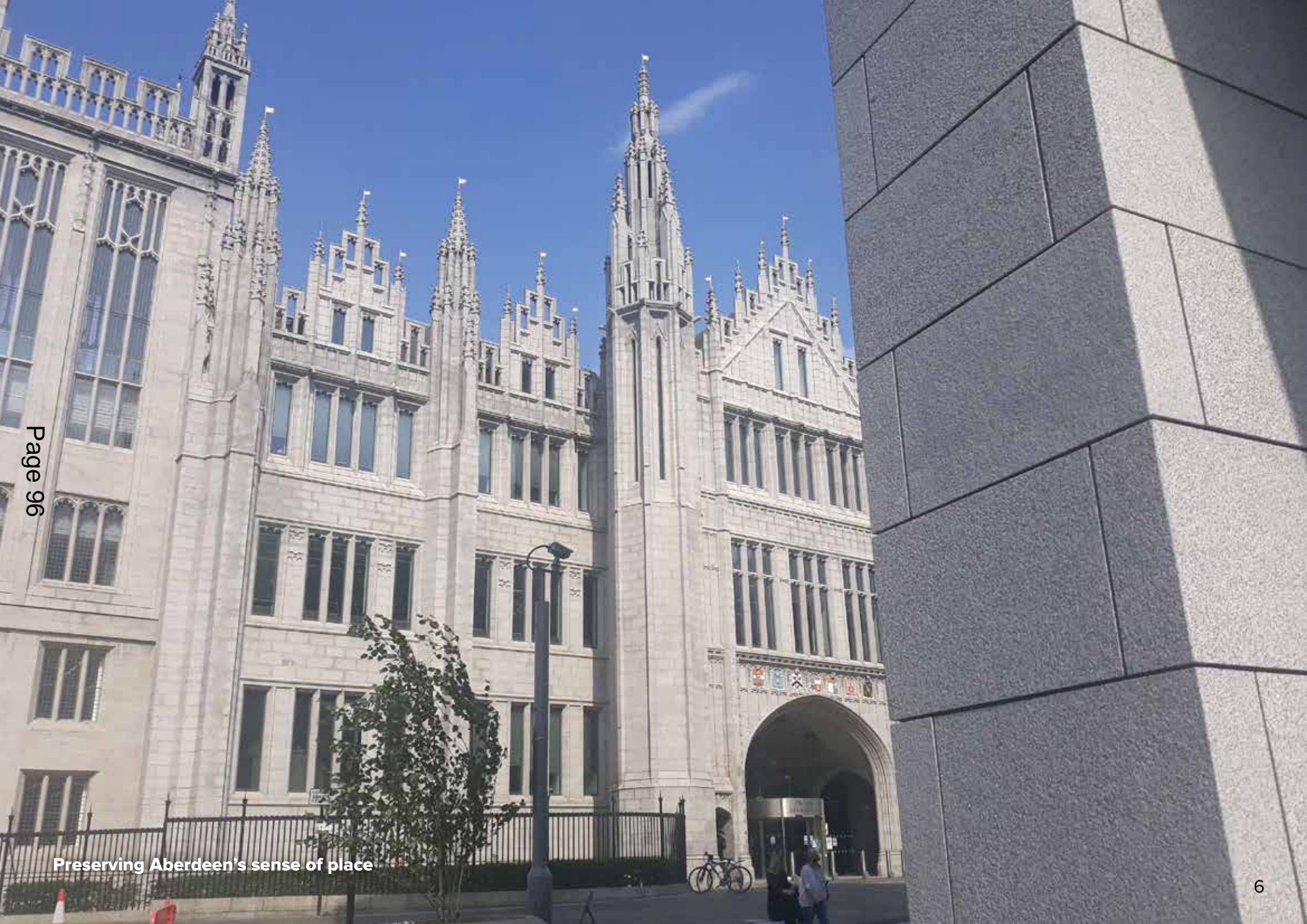
The Silver Fin The frontage faces onto Union Street, the use of light-grey granite cladding respects the street's granite heritage and colour, whilst the use of glazing in the taller element behind helps to reduce its massing



Marischal Square The use of new buff/brown granite cladding panels on the recent Marischal Square office development sympathetically reflects the colours seen in the walls of Provost Skene's House, one of Aberdeen's oldest buildings



Aberdeen Art Gallery The contemporary roof extension to the Category 'A' listed Aberdeen Art Gallery has been designed as an honest, clearly modern addition to the original building and its granite façade below. The use of pink/brown copper cladding serves as a good match for the pink Corrennie granite used in the façade embellishments



3. Granite

3.1 Historical context

Aberdeen, 'The Silver City', is a name derived from local granite which dominates the city's buildings, with the stone's mica sparkling in the sunshine.

Aberdeen's predominantly light-grey granite forms the basis of the core of the city's distinctive streetscape colour and character; for example, Aberdeen's premier street Union Street is lined with grey granite buildings. North-east granite comes in many varieties of colour, ranging from light grey to earthy browns, blues, pinks and reds.

Granite Properties

- **Strength / durability**
- **Low maintenance**
- **Impermeable**
- **The granite 'sparkle'**
- **Restrained detailing**

The walls of Aberdeen's granite buildings can vary significantly in appearance depending on their age. The city's oldest buildings are generally built with rubble walls (of a more earthy colour palette), with relatively unworked and gathered granite of varying shapes and sizes.

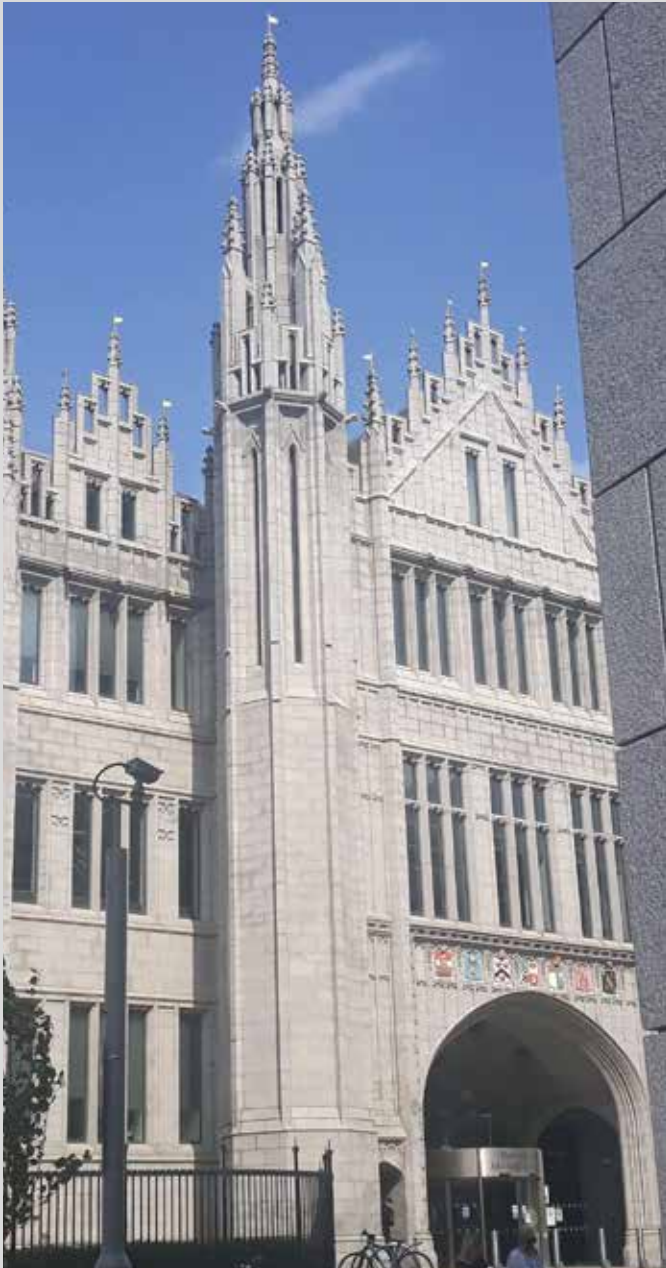
As commercial quarrying and technological advances arrived in the 18th and 19th centuries, the size, shape and detailing of granite blockwork increased and improved.

It was during this time that the north-east had an abundant local source of high-quality granite from Rubislaw and the nearby Kemnay, Dancing Cairns, Craigenlow and Corrennie quarries, amongst others. This resulted in a high proportion of Aberdeen's inner city and city centre buildings being constructed of local granite.

Rubislaw quarry (now defunct) in the city's West End was at one time the largest man-made hole in Europe and its granite, of the highest visual and structural qualities, was used as far afield as London's prestigious Waterloo Bridge and the Houses of Parliament.

By the mid-to-late 20th century, local granite quarries were largely exhausted. Combined with an increase in the availability of cheaper, imported granite and the use of other building materials in recent decades, it has become increasingly difficult and costly to source new local granite.





Marischal College The early 20th century front elevation uses the finest Kemnay ashlar-cut blockwork and detailing



Provost Skene's House Built of granite-rubble in the 17th century it is one of Aberdeen's oldest remaining buildings



Art Gallery Incorporates pink Corrennie granite detailing

3.2 Contemporary use of granite

Granite is synonymous with Aberdeen's heritage and townscape character. It's existing granite built heritage should be retained wherever possible, in order to preserve and continue the city's distinct sense of place.

However, due to technological advances and changes in construction, stone is no longer a key load-bearing component of walls. Instead, its modern-day use in new buildings is predominantly restricted to its aesthetic and weather-resistant properties.

Whilst imported granite could be seen as an obvious material choice for new buildings in the city, it is important to note that its use could actually dilute, rather than reinforce, the city's granite heritage. Instead, alternative materials can often be a more appropriate choice to help preserve and enhance the status and setting of the city's existing, locally quarried granite.

Depending on the context of the site, the use of new granite may be appropriate, provided the type of granite used is sympathetic to the surrounding streetscape and the city's granite heritage. Where modern granite is considered appropriate on new buildings in historic settings, the panels should be coloured, sized and coursed to reflect the detailing of surrounding buildings.

3.3 Detailing and Colour

Where new granite is proposed, care needs to be taken to ensure that it is a good match to the existing stonework in every aspect including: colour, size, finish, coursing and detailing.

Where new buildings in historic contexts or extensions to existing granite buildings are proposed, a choice is to be made whether to use a contrasting yet complementary material with a clear distinction between old and new, or to carefully replicate the existing specification. Granite's strong, durable, properties make it much harder to work than softer building stones such as sandstone. As a result, Aberdeen's granite buildings do not tend to incorporate a significant amount of architectural embellishment such as intricate carvings, instead often relying on differences in colour and finish for aesthetic value. What embellishments are present tend to be of a robust, elegant detail. The main exception to this is Marischal College's façade which was fashioned by machine.

In the general absence of decorative carvings, Aberdeen's more prominent historic buildings tend to incorporate architectural interest and status in their façades through the use of granite blocks of varying finishes (i.e. smooth, tooled, rough-faced), different colours (as at the Art Gallery) or sizes (Aberdeen Bond), or where detail exists it is refined, strong and unfussy. Typically the quality of granite and its worked finish in building façades will be superior to that of the lesser side and rear elevations. Façades are often finished with fine ashlar blockwork and secondary elevations constructed from granite rubble.



Intricate carvings, such as those on the Archibald Simpson's public house building on Castle Street (originally the North of Scotland Bank), are rare. The majority of granite façade detailing in the city is robust and elegant.



Modern granite cladding Depending on the context, the use of granite cladding panels in new buildings can work well, as at the Neptune Energy building on North Esplanade West



Imported granite cladding panels have been used successfully on new buildings in Aberdeen such as **Marischal Square**

3.4 Technical considerations

Retention & re-use of existing granite

- Existing local granite contributes to Aberdeen's identity and distinctive sense of place. All existing granite should be valued, retained and re-used.
- Where new developments require granite to be taken down, as much of the dountakings as possible should be re-used in the new development.
- The retention and re-use of existing granite is also more sustainable than the introduction of new materials.

New granite blockwork

- Where the context allows, imported granite can have a role to play in 21st Century development in Aberdeen.
- Where new granite blockwork is proposed, care must be taken to ensure that the colour, module size and detailing are appropriate and sympathetic for their context.
- Historically blockwork sizes were approximately 300mm-370mm in height, with lengths between 400mm and 800mm, giving the blocks a horizontal, rectangular proportion.
- It is important to ensure that where new blockwork is proposed, the appropriate type of mortar mix and joint is utilised.

Granite cladding

- Modern granite cladding panels can be used to good effect, particularly in new tall or large buildings, where traditional blockwork walls would not be feasible and the cladding is read as a contemporary addition.

- Care must be taken to ensure that module sizes and colours take cognisance of the surrounding context, which will give clues as to appropriate detailing.
- In contemporary use, a greater range of module sizes and coursing patterns may be possible, particularly on larger buildings where traditional coursing may not be appropriate.

Alternatives to granite

- The use of new granite can, in some circumstances dilute the city's existing local granite heritage and the granite's local embodied craftsmanship.
- As a result, the use of contrasting materials other than granite, such as those featured elsewhere in this document, can often be more suitable in preserving the city's sense of place.

Colour

- Although Aberdeen predominantly sees a palette of light-grey granite, there is a wide range of colours that have historically been used in the city including pinks, earthy browns, blues and even a wide variation of greys.
- The use of well-chosen alternative colours can add interest to façades, as an alternative to intricate carvings and other architectural embellishments.

4. Brick

4.1 Historical context

Although not as immediately obvious in the 'Granite City', there is a rich tradition of brick manufacture and use in Aberdeen. The brick industry here was successful with high quality bricks being produced and exported across the world. Brickworks were established at Seaton (Old Aberdeen), Clayhills (north of River Dee) and Torry from the 18th Century, with brickworks ceasing operations in the early 20th Century. The deeply coloured red clay at

Seaton Brick Works is derived from the old red sandstone beds that formed between the Dee and the Don.

In Aberdeen, historically bricks were used on non-principle or secondary elevations and along rear lanes. Most often bricks were used for outbuildings, chimney stacks, walls and edges, however there was equally no concern in entire rear elevations composed of brick. A characteristic feature within many historic

Brick Properties

- Small module size
- Variety of colours available
- Textured and plain finishes
- Ease of altering bond, coursing and pattern for decorative effect
- Consistency and clean lines
- Robust and hardwearing

areas of Aberdeen is the use of red coloured brick as the coping for a random rubble granite wall.

Lighter cream/buff coloured bricks are frequently used as quoins to granite walls, perhaps due to practical construction reasons, module size and availability, combined with its decorative effect. In addition, traditional buildings along Union Street feature white glazed bricks to rear/internal atriums and lightwells.

The surge in volume housebuilding activity in Aberdeen from the 1980s, at the time of the oil boom, created several new housing estates, for example Bridge of Don and Cove. These were pre dominantly brick and render, with the decorative use of brick often altering depending on the house type. Buff, brown and red coloured bricks, with accents of another contrasting colour in soldier courses above windows and for sill detailing, often mixed with dry dash render on principle elevations with a horizontal emphasis is the consistent design with this age of housing.

Over time the standardised approach to brick and its use has now dated particular housing stock and resulted in a certain 'placelessness'.

4.2 Contemporary use of brick

Although contemporary uses of brick are not necessarily consistent with the historical precedents, the historic legacy of brick in Aberdeen is strong and therefore its use today remains relevant. Within more recent developments, brick has been used on a large scale, with confidence and consideration of detailing. This has helped to reinforce the identity and aesthetic of the 'Granite City' – allowing granite to stand out for its own qualities and offering a contemporary contrast. The brick and mortar colours chosen (development post 2014) have generally taken their visual base from the range of colours found in the range from blue to dark grey granite and cream/buff and pink/brown lime mortars.

With such a wide range of bricks, sizes and colours available on the market today, the detailing of brickwork is extremely important, and the way bricks are laid is almost as important as the choice of brick itself. Bricks should be considered as part of the whole building design and expressed in a contemporary way. They can offer detail to break up larger elevations, e.g. porches, gables or be used to treat an entire building or façade.



Granite wall with brick coping and window surround detailing – characteristic 'Seaton red'

4.3 Technical Considerations

The use of bricks could take cues from local vernacular

- use on side and rear elevations
- stair towers
- window surrounds
- boundary wall coping
- chimneys
- porches / door detailing

Detailing

Where brick is to be used its detailing must be carefully considered in order to add visual interest, variety and texture to its context.

- **Alternating courses of vertically laid bricks with walls of horizontally laid bricks to add detail**
- **Introduce interest and variety through the choice of bond**
- **Special shaped bricks as a feature**
- **Brick detailing to window and/or door surrounds, reveals, in goes and entrances**
- **3D brick modelling to larger expanses of wall to offer visual interest**

- Using different sizes and shapes of the same brick to offer relief and expression to elevations
- Brick detailing for porches to break up elevations
- Specialist bricks can be used which provide a home for wildlife, such as for bees, bats and birds.
- White glazed bricks utilised for light wells and courtyards to aid light reflection
- Care and attention should be taken when painting brick facades, as mortar joints are more vulnerable to water penetration

Colour

The use of bricks must reflect and take consideration of the surrounding context, as this will help to inform colour choices. There is an historical basis for deep plum-red coloured bricks (e.g. 'Seaton' red) and yellow/buff bricks for detailing. Brick colours in the blue-black and grey-buff ranges work well and compliment against the grey tones of granite.

Mortar joint accounts for approximately 15% of the overall wall covering, therefore the colour of the mortar and style of pointing used is also important as certain mortars and styles suit contemporary uses.



Buff coloured brick used in new housing development at **Countesswells** uses brick to 'bookend' terraces and porch detailing to offer contrast and detail against rendered buildings



Grey brick used at **2 Powis Place** student accommodation offers a successful contemporary contrast to the grey tones of Aberdeen



Red brick rear elevation of **111 Gallowgate** shows the historic use of red brick on rear facades



Buff toned brick used at **Craiginchies** offers a contemporary contrast to the surrounding granite of the tenement buildings in Torry

5. Render

5.1 Historical context

Render or 'harling' is a traditional, principally wet dash, finish – originating from the term to throw or 'hurl' mortar at a wall.

Harling is an applied exterior surface treatment to buildings with the primary purpose to provide a weatherproof shield. If the harling is pigmented with a colour it avoids the need for repainting.

Traditionally render (consisting of a mix of lime, water and aggregate) is thrown, or cast-on, resulting in a rough textured surface finish.

Harling is widely found in vernacular solid wall construction buildings; the finish being particularly suited to our climate and can help to create a more uniform appearance, improving overall building aesthetics. Harling was also commonly used to cover rubble stone or brickwork and where irregular and weak joints would allow water ingress.

Over time, fashions change and during the late 19th century it was common to re-expose the underlying stone or brickwork believing that exposing the various periods of construction added to the historic interest/romance of old buildings.

Aberdeen has historical evidence of buildings being harled, for example Provost Ross House (Maritime Museum), Provost Skene's House and some older properties in Old Aberdeen.

Harling with the use of hydraulic lime remains the most suitable finish for traditional random rubble stone-built properties as it allows breathability (please see Appendix 2 for further information).

Over time an overall patina develops with age, which is a characteristic feature of traditionally harled surfaces.

In recent decades traditional lime harling gave way, most likely due to the rise of stone construction, before the later onset of modern renders.

5.2 Contemporary use of render

Render as a modern building material has a much wider use and application than on solid stone construction. Modern renders include a higher proportion of cement, and acrylic or silicone (for their quick drying and plastic qualities) are also now used in modern 'enhanced' render specifications.

The use of different types of render as a building material is commonly found across the City, ranging from residential extensions, houses, blocks of flats and office buildings. The existing housing stock which has render utilises a variety of colours, including cream, buff and grey, with a recent trend towards white renders.





Smooth finish white render at Stoneywood – white render works well at 2-storey scale as is accessible and serviceable for maintenance

Render Properties

- Weatherproof shield
- Unifying aesthetic
- Variety of colours available
- Variety of finishes to suit
- Affordability
- Reflective abilities

Random rubble granite stone walling in Aberdeen gives cues towards the tonal range of render colours



Traditional harling in **Old Aberdeen**



Consideration should be given to long term maintenance implications for use of smooth white render in our climate



5.3 Technical Considerations

Use of render

- Render can be applied in a variety of different finishes (smooth, rough, sandfaced, pebble dash, scrapped etc), the suitability of which will be dependent upon the building and surrounding context.
- Render type should be considered as part of the whole building design – i.e. ensure that the type chosen is suitable for backing material, taking consideration of movement/stop joints, aspect and climate.
- Avoid small infill panels of render, a more comprehensive approach with clear junctions between materials is more contemporary.
- Rendered finishes down to ground level may not offer the robustness needed due to the higher level of activity and effects of weathering at this level, especially around entrances, and therefore careful consideration of this should be taken at the design stage.
- Render used when extending properties, must be designed to either complement the existing building or for contemporary design to offer an assertive contrast.
- Render used when extending traditional buildings or in historic contexts should be a wet-dash finish, with a through-colour.

Detailing

- Sills, copings, overhangs and flashings should be designed to project from the face of the wall ensuring that water is deflected away from the rendered façade to reduce moisture ingress.
- Gutters, down-pipes and soffits must be designed to keep water off the rendered façade – angles may be formed using stop beads or chamfered battens.

Colour

- Cues should be taken from the surrounding context to inform new render colour choices.
- A wide range of colours is available for modern renders. Matching render to the buff, pink greys and ochre tones in traditional granite random rubble walls is the preferred approach as it helps to integrate new development into its surroundings, helping to enhance setting and the 'sense of place'.
- White and off-white renders often do not weather particularly well in Aberdeen's climate, particularly on exposed facades. This does not preclude the use of white render, however consideration must be given to context and maintenance implications
- Light and paler tones have reflective qualities to aid cooling of buildings in predicted warmer summers.

6. Metal

6.1 Historical context

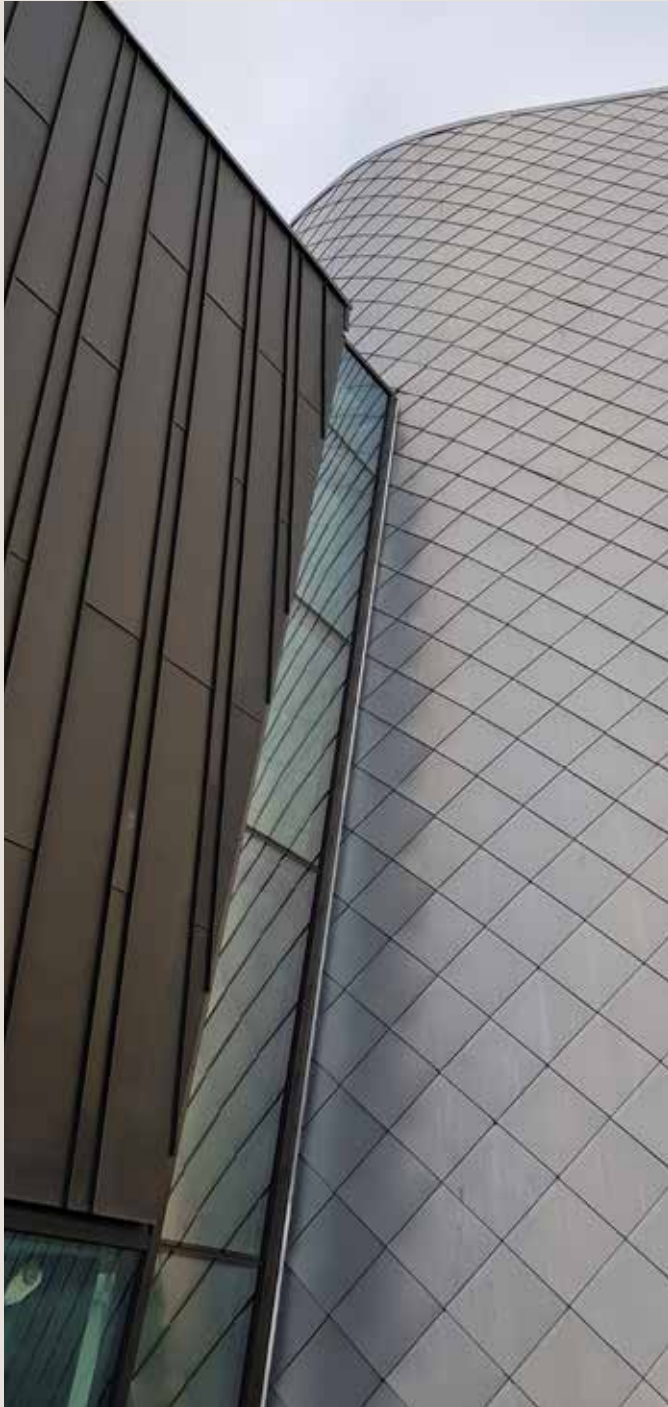
Historically in Scotland, the use of metal as a material in the external envelope of buildings has generally been restricted to roofing and functional elements such as guttering, rhones (downpipes) and, to a lesser extent, architectural embellishments such as Juliet balconies, cast iron railings and ridge brattishing as well as industrial/domestic sheds.

The historic use of metal on buildings in Aberdeen's is much the same as in the remainder of the country. Whilst the majority of older buildings have slate roofs (historically a cheaper, more-readily available material), the roofs of several of the city's prominent historic public buildings use metal: predominantly lead and copper.

Whilst lead, with its grey colour, is predominantly used in pitched roofs and spires, copper (green) has more commonly been used as a roofing material for architectural eye-catchers such as decorative domes (see the Art Gallery, His Majesty's Theatre and the former Woolmanhill Hospital). The historic use of metal as an architectural embellishment in Aberdeen has otherwise been often limited.

Aside from its use in industrial buildings, it was not until the late 20th century that metal as a cladding material for external walls became more commonplace.





Metal cladding creates a roofscape at **Craiginchies**



The red/brown colour of the **Art Gallery** roof extension reflects that of the pink Corrennie granite below.

6.2 Contemporary use of metal

Although not traditionally used on civic and residential buildings, metal cladding continues to grow in popularity as an attractive, lightweight and relatively inexpensive, versatile material, particularly on new buildings and contemporary extensions. Metal can often be utilised to provide a clear, honest distinction and contrast between old and new.

The Category 'A' listed Aberdeen Art Gallery building has recently been refurbished and now includes a contemporary copper roof extension, the red/brown colour sympathetically reflects that of the pink Corrennie granite façade detailing below and echoes the use of copper in the nearby buildings. The detailing and jointing of metal wall cladding (use of standing seams, patterned perforation, variation in colour of cladding panels etc) can add visual interest and help to soften the appearance of large elevations on new buildings and give a new aesthetic.

The use of metal cladding at roof level and on the walls of upper storeys can help to add interest to, and reduce the massing of, new buildings by differentiating between the colour of the remainder of the façade and/or replicating the colour and appearance of a traditional roofscape, as at the Craiginchies development.

6.3 Detailing and Colour

Where metal cladding is proposed, it is important to ensure that not only the scale, colour and texture of the cladding is sympathetic to the context, but that it is carefully and finely detailed and jointed to ensure low maintenance and longevity.

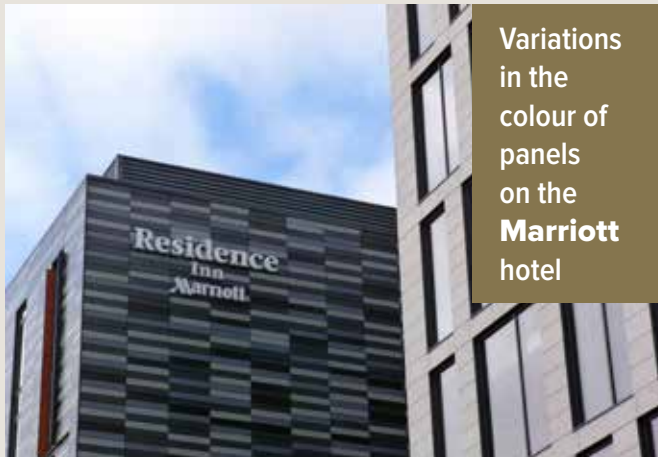
Traditionally metal roofing (particularly lead) involved the use of raised timber battens, around which each sheet of metal would be joined together. Whilst timber battens are no longer required, modern 'standing-seam' metal cladding replicates the aesthetic and the jointing adds visual interest to the cladding, helping to break up the appearance of large elevations.

There is a long-standing history of **light grey** lead and anodised **green** copper roofing in Aberdeen. Both those colours sit well within the Aberdeen context and contribute towards our 'sense of place'. More recently **black** and **dark grey metal** cladding have been used to replicate the colours of traditional slate roofs.

Metal Properties

- Relatively lightweight in sheets
- Durable
- Low maintenance
- Impermeable
- Relatively inexpensive
- Available in many colours

The jointing in the metal cladding at **Causeway-end** ties in with the coursing of the adjacent granite.



Variations in the colour of panels on the **Marriott** hotel

Dark grey metal cladding used to create a roofscape at the former **Remnant Kings** building on Loch Street



6.4 Technical Considerations

- If detailed correctly, metal cladding can be an attractive, contrasting material for external walls in new buildings and in contemporary extensions to existing (including historic) buildings.
- Careful consideration requires to be given to the colour, surface finish, module size and jointing, which should all be chosen based on a site-specific analysis of the context.
- The jointing used in 'standing-seam' metal cladding can add visual interest to otherwise featureless walls, replicating the raised-batten jointing seen in traditional lead roofs.
- Variations in colour between cladding panels can help to break up large blank elevations, such as that seen in the Residence Inn Marriott hotel at Marischal Square.
- Metal cladding can be used to good effect in reducing the massing of medium-height, flat-roofed buildings by imitating the appearance of a roofscape.



Vertical timber cladding to rear extension of **Queen's Cross Dental** in interesting curve design

7. Timber

7.1 Historical context

Early timber construction influences across Scotland were more akin to Scandinavian countries such as Norway and Sweden due to established trade routes for timber. European oak and Scots pine were the two most common timbers and Scottish builders tended to use cladding boards vertically.

The historic use of timber is not as widely evidenced in Aberdeen due to the dominance of the granite industry. The use of timber was primarily for the construction of doors, roofs, windows, interior joinery and outbuildings.

A prime example of historic timber outbuildings are the 'tarry' sheds in Fittie (Footdee). Here



Traditional timber sheds in **Footdee**

timber charred or tarred with bitumen was used in the construction of small outbuildings to store fishing equipment. These such structures were purposefully cheap, lightweight and easy to construct, however, their presence now is an important and aesthetically valuable historic asset.

In the 1960-70s exterior timber cladding was used in the construction of Aberdeen's social housing expansions, with the Council importing Norwegian and Swedish kit houses to create neighbourhoods in parts of Aberdeen such as Sheddocksley.

During the 1980s housing expansions however, the use of timber changed, with timber frame construction being hidden behind other exterior cladding, in favour of materials such as render and brick perhaps as they were perceived to more closely emulate masonry construction.

7.2 Contemporary use of timber

Approximately 75% of new homes in Scotland are timber-frame construction, however few buildings in Aberdeen use timber cladding to any great degree or scale. Exterior timber cladding is predominately contained to household extensions. However, in recent times new build construction and design has seen the use of timber, timber-composite or timber-effect products used as an elevational cladding treatment.

Timber cladding all over, or the majority of, a building is increasing in popularity. Western red cedar is the most commonly used whole-house cladding, but European larch is becoming more widespread because of its availability and its property of weathering to a uniform silver-grey which needs no staining for protection. There has also been a more recent rise in well-designed timber clad garden offices/studios where the aesthetic of natural materials and small-scale module works well in the domestic garden setting.

7.3 Technical Considerations

- There are a wide range of hardwoods and softwoods available for timber cladding, with Sitka Spruce, Scots Pine and Larch being the dominant species in northern Scotland.
- Timber sources should always be from sustainable FSC – Forest Stewardship

Council (or similar) certified sources.

- ‘Wood effect’ products offer the same look as timber cladding but requires less maintenance – however can suffer from discolouration and degradation over time.
- Vertical cladding is more akin to the Scottish vernacular and allows for faster water shedding down the vertical plane of the timber, which is beneficial to cope with predicted increased rainfall.
- Opaque coatings should be moisture permeable to allow timber to ‘breathe’. However, there is a requirement to repaint every 5-10 years and replace damaged boards should be understood as an accepted part of the maintenance regime – as opposed to natural weathered finishes which require less maintenance..
- Aspect and detailed design must be considered prior to timber cladding and treatment choice, as different planes and more sheltered elements will weather at a different rate, affecting overall long-term aesthetics.
- Varnishes and coatings should be non-toxic and eco-friendly.
- ‘Wood effect’ products offer the same look as timber cladding but we finished to minimise maintenance.



Timber Properties

- Sustainable
- Lightweight
- Ability to source locally
- Wide range of hard and softwoods available
- Untreated, stained, treated, painted finish options
- Retrofit opportunities (external insulation)

7.4 Detailing

Aberdeen has a maritime climate, therefore the control of wind-driven rain penetration into the wall is important, including to help guard against climate change. The “4 D’s” is a useful consideration for the detailing of timber cladding.

Deflection – overhangs, eaves, top flashings, splashlines, sheltered openings

Drainage – drained and ventilated cavity behind cladding and use of high-performance breather membrane, heartwood on external face

Drying – ventilation gaps, supporting boards, provide for shrinkage/expansion, coating boards before application

Durability – naturally-durable or preservative-treated timber

7.5 Colour

Timber cladding can use traditional staining and painted colours in both bright and light, and more darker-tones with a stained finish offering longer-term maintenance benefits. However, the



success of a project will very much depend on the surrounding context which will help inform colour choice.

Small-scale cladding use, for example on extensions, has the potential to use uncoated timber (dependent upon the wood). Iroko or cedar are two types of timber which can be used for (relatively) maintenance free cladding, as a natural silver-grey protective patina, which forms on the larch, giving a surface which

complements natural stone walls such as granite. Equally, small outbuildings, timber shopfronts, timber sheds and garden studios have potential for using more jewel-like accent colours, for added interest.

Traditionally tar, and now scorching (heat treated) techniques have been used to create a weather-resistant low-maintenance skin to timber and this has a characteristic dark black colouring.

8. Glass

8.1 Historical context

Prior to the 20th century, the use of glass only featured in windows, progressing from small hand-blown 'brown-plate' and 'crown' glass windows to larger, machine-manufactured 'plate' glass units by the end of the 19th century, predominantly for shopfronts and windows.

The use of glass as a wholesale building cladding system didn't become commonplace until the early 20th century as advances in manufacturing methods allowed production of glazing in large sheet formats.

Despite its arrival as a building material, glass remained prohibitively expensive to all but noteworthy architectural projects until manufacturing processes in the mid-20th century brought it to the fore as a mainstream cladding/construction material.

In an Aberdeen context, glass wasn't used as an external wall material until very recently and its use was predominantly limited to contemporary extensions to existing public buildings (see His Majesty's Theatre and the Maritime Museum). More recently however, high-profile buildings such as Aberdeen University's Sir Duncan Rice Library, The Capitol and Silver Fin office developments on Union Street and Talisman House on Holburn Street have all incorporated significant elements of glass as an external wall material.



The green-tinted glass extension to **His Majesty's Theatre** reflects the colour of the building's copper dome above



The use of glass in the upper gable of this roof extension maximises daylight receipt and minimises the extension's massing



The **Silver Fin** office development on Union Street

8.2 Contemporary use of glass

The transparent and reflective qualities of glass make its use preferable in tall buildings where slender, vertical proportions, and a visually light aesthetic are desired. The use of glass in such buildings can help to reduce their massing compared to more solid, less reflective materials.

The transparent nature of glass can also benefit the occupants of buildings by providing a significant amount of daylight and thus a natural source of heat (when appropriately orientated), via passive solar gain. The use of glass walling continues to grow in popularity in new large buildings and contemporary extensions as its various characteristics and qualities make it a good complementary aesthetic choice.

Glass often works well alongside other, more solid materials in new buildings where surface and colour contrasts, as well as balancing solid, and void in elevational composition. Where appropriate, buildings constructed predominantly or entirely with glass should incorporate high-quality detailing to add visual interest and care needs to be taken to ensure that glare and internal lighting do not adversely affect townscape amenity.

8.3 Technical Considerations

- The use of glass walling in tall or large buildings can help to reduce their massing.

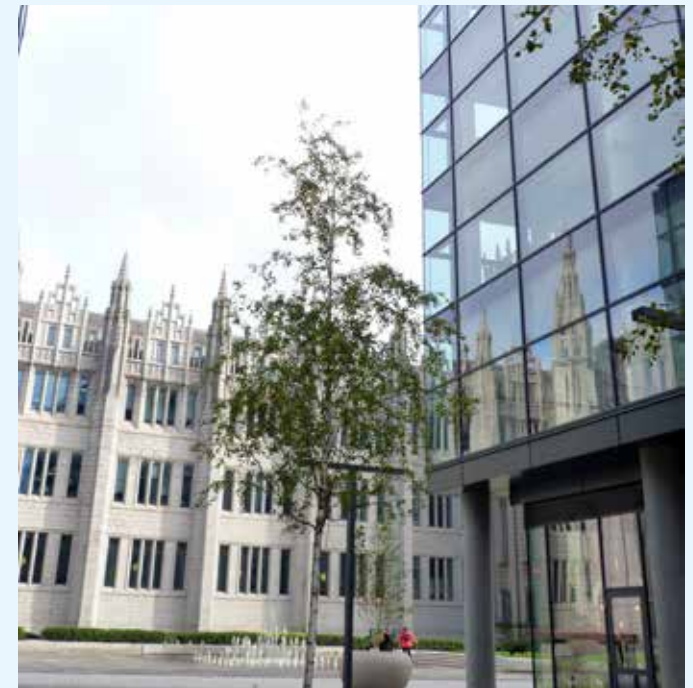
Glass Properties

- Transparent
- Reflective
- Impermeable
- Durable
- Can be curved

- Glass often sits well alongside a more solid material as a complementary contrast.
- Glass will often be appropriate in extensions to existing buildings due to its transparent and reflective qualities, offering visual distinction between old and new.
- Module size relative to the building, context and scale are all essential to understand in the creation of appropriately modelled elevations.
- Care needs to be taken to ensure that the jointing between panes of glass is minimised and coloured appropriately so that it does not detract from the appearance of the glass itself.
- Opportunities to enhance the setting of important neighbouring buildings through sympathetic reflection should be explored, as at Marischal Square.
 - Any large expanse of glass must consider predicted warmer summer climate and how this affects internal thermal comfort levels, for the avoidance of extra cooling requirements etc.
- Use of large expanses of glass to building facades can pose risks to people with low or visual impairment, therefore the use of architectural controls should be considered – such as building orientation, shade, exterior controls (shutters/louvers/light shelves), and interior fittings such as blinds/glazing manifestations.



The Maritime Museum glass-walled extension



The Marischal Square glazing reflects Marischal College



Patterns add visual interest to the **Duncan Rice Library**

8.4 Detailing and Colour

Although glass walling is predominantly clear and transparent, it can be manufactured with various shades, tints and levels of opacity. The His Majesty's Theatre extension utilises glass with a green tint, which sympathetically reflects the colour of the original building's green copper dome and the wider Union Terrace Gardens setting.

Patterns and designs can also be incorporated to add visual interest or to enhance privacy where desired, such as in The Sir Duncan Rice Library building at Aberdeen University where the elevations act as a light box at night.

Vinyl designs can also be added, giving glass great flexibility and adaptability in the long-term and offering a solution to signage and layers of visual interest.



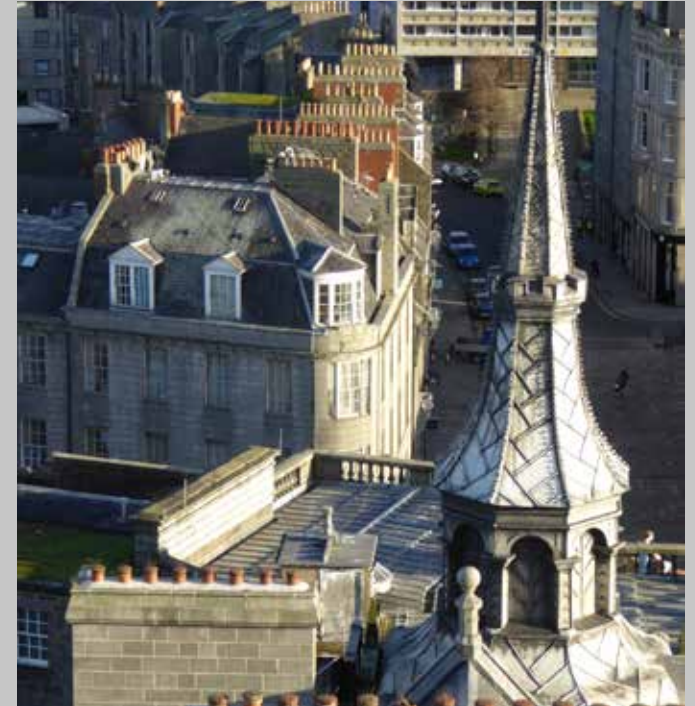
9. Roofing

9.1 Historical context

From the 19th century onwards Aberdeen's pitched roofs were mostly finished with **dark-grey** slates, with flat roofs and/or ornate roofs clad in lead. However, earlier periods of construction used red clay pantiles particularly in areas of Old Aberdeen whose tiles were made locally by Seaton Brick and Tile Company.

Despite being a coastal city, Aberdeen does not have a significant number of buildings finished with red/brown clay pantiles, as can be seen elsewhere in a coastal context in the north-east of Scotland. Although pantiles would have existed up until the 19th century, surviving evidence is extremely limited as they have been replaced over time and often used on smaller-scale domestic architecture. Slate being a more robust and higher quality material means it is well suited to Aberdeen's climate, and as the city expanded from the 19th century, large grand buildings of granite and slate set the urbanised image of the city.

As well as slate, lead was also used as a roofing material, particularly on prominent public buildings and churches such as the Town House and St Nicholas Kirk, and on roofs with shallow pitches due to its better rain resistance properties than courses of slate at pitches below 23 degrees.



9.2 Contemporary and green roofscapes

With a significant increase in flat roofed buildings in recent years (particularly those exceeding 2-storeys in height), the colour or material used for the roof itself has become less important. However, where cladding is used on the top floor of the walls, to give the impression of a roof-level and reduce massing, that cladding requires to be appropriately coloured for the context of the building and the surrounding area.

More recently **green roof** infrastructure is becoming a popular option and is well suited to flat roof designs. This is discussed further in the next section on green roof and wall infrastructure.

Incorporating appropriate low carbon technologies, such as **solar panels**, at the design stage for roofs aids reduction in emissions and energy efficiency.

Consideration should be given to the scale of the building, site energy demand, roof design and orientation. For example, higher wall parapets may be required to hide solar panels on flatter roof designs, whereas modern technologies such as solar photo voltaic tiles can be integrated into the roofscape.

9.3 Technical Considerations

- In order to retain and reinforce the city's roofscape context the preference will be for **grey-coloured roof materials**. **Red and brown roof tiles in new developments will only be supported as part of a tonal range of colours and based on a context appraisal of the surrounding area.**
- **New medium-height flat-roofed buildings can incorporate cladding on the upper storeys to imitate a roofscape. Such cladding should be coloured appropriately for its context.**
- **All roof material choices (including downpipes and guttering) must respond to predicted increase rainfall intensity in future climates.**



10. Green roof and wall infrastructure

Options to incorporate green roofs can slow down rainfall runoff, improve building insulation and contribute to biodiversity.

There are 2 broad categories of green roof:

- 1) **Extensive green roofs** – not used by people but as design feature, often suited to flat or gently sloping roofs
- 2) **Living gardens** – recreational and accessible green roofs using flat roofs with container and raised bed gardens

Green roof design must take account of:

- Structural load accounted for in design (including additional load from weather/ rainfall and access requirements onto the roof).
- Appropriate sealing, waterproofing membrane and drainage to cope with predicted future rainfall levels.
- Soil appropriate for roof type (extensive or living garden).
- Plant coverage (sedum/mosses/grasses) appropriate for climate, location, soil depth, root growth and design.
- Regular and safe access to any green infrastructure must be considered early in the design process.



Colour

Green roofs offer a striking contrast with other materials, especially against existing granite, however species choice also offers scope for colour by choosing red sedum for example.

Green walls

Incorporating green facades and living walls where feasible, can enhance a buildings aesthetics as well as support a reduction in run off from rainfall, improve building insulation and support biodiversity. There are also great opportunities to retrofit this option to existing buildings to enliven blank or unattractive facades. Any type of green wall infrastructure must take into consideration any extra weight, sub-framing and structural support which may be required, that species choice is suited to the aspect and climate of the façade and future maintenance requirements.

There are 2 main ways of creating green wall infrastructure

- 1) **Green façade** – using climbing or trailing plants grown across frames/cables to provide support; will take time to establish; moss walls can create different designs with colour and texture, grow well in shade and are low maintenance.
- 2) **Living wall** – require higher level of design and installation, including irrigation, however offer benefits to improve the building performance as a cladding material (cooling, absorb moisture etc.); fixed to building via framework in a modular system using non-combustible materials and minimal cavity as possible; types include (a) continuous living wall systems (b) modular soil free walls or (c) modular soil based systems.

Appendix 1: Notes on Granite Detailing



Granite rubble – Aberdeen’s oldest buildings are formed from granite rubble. These stones were hand-gathered before quarrying started. They often comprise a range of earthy colours.



Aberdeen Bond – The distinctive coursed pattern, using a stack of three smaller granite offcuts (from the quarry sett-makers), was efficient and adds interest.



Ashlar blockwork – A standard light-grey ashlar-cut granite block. Ashlar blocks typically measure approximately 300mm-370mm in height and between 400mm and 800mm in length.



Aberdeen Art Gallery – the use of a rough-faced pink Corrennie base-course adds interest to the façade below the light grey Kemnay tooled blockwork.



Decorative detailing – The hard-to-work nature of granite meant that decorative carvings were difficult and costly to achieve. As a result, ornate detailing is rare in Aberdeen’s buildings.



New next to old – This photo shows the importance of blockwork size in respecting context. The new granite (right) blocks are not large enough to match the existing.

Appendix 2: Harling traditional stone buildings

- New harling/render should be based on evidence of previous use of the material on the building
- Traditional lime-based render allows the wall to absorb and evaporate moisture effectively
- Where a building is in a conservation area, or is listed, planning permission and/or listed building consent may be required to render the building and consultation with the Council's Conservation Officer is required
- Historic cement renders should only be removed if found to be causing damage
- The application of limewash should likewise be backed by evidence of historic use
- As a general principle the harling should always be weaker than its backing material
- Original margins around windows and doors, and corner quoins in stone or brick, must be carefully respected and should not be harled over. Where no margins exist, the harling should be carried into the window in the original manner. Raised margins around windows should not be formed artificially in render
- Where harling stops against dressed stone masonry care must be taken not to form raised edges which are vulnerable to water

ingress. Details such as raised margins and string courses offer protection, allowing the harl to be tucked in behind.

For detailed advice and guidance on mixes and types of harling, please see [Historic Environment Scotland Managing Change: External Walls](#) and [The Scottish Lime Centre Trust](#)

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